

Agenda

Planning Committee

Wednesday, 2 September 2020 at 7.30 pm

Remote meeting via video link



This meeting will be held **remotely**. Committee Members will be provided with the details of how to connect to the meeting one day before the meeting.



Members of the public may observe the proceedings live on the Council's [YouTube](#) channel.

For information about speaking at Planning Committees, visit our [website](#).

Members:

S. Parnall (Chairman)

M. S. Blacker
J. S. Bray
P. Harp
J. Hudson
F. Kelly
J. P. King
S. A. Kulka

S. McKenna
R. Michalowski
R. Ritter
K. Sachdeva
C. Stevens
R. S. Turner
S. T. Walsh

Substitutes:

Conservatives:	D. Allcard, K. Foreman, N. C. Moses, C. M. Neame, J. Paul and S. J. G. Rickman
Residents Group:	G. Adamson, R. J. Feeney, R. Harper, N. D. Harrison and C. T. H. Whinney
Green Party:	H. Brown, J. C. S. Essex and S. Sinden
Liberal Democrats	D. A. Ross

Mari Roberts-Wood, Interim Head of Paid Service

For enquiries regarding this agenda;

Contact: 01737 276182

Email: democratic@reigate-banstead.gov.uk

Reigate & Banstead
BOROUGH COUNCIL
Banstead | Horley | Redhill | Reigate

Published 24 August 2020

1. Minutes (Pages 5 - 8)

To confirm as a correct record the Minutes of the previous meeting.

2. Apologies for absence

To receive any apologies for absence.

3. Declarations of interest

To receive any declarations of interest.

4. Addendum to the agenda (To Be Tabled)

To note the addendum tabled at the meeting which provides an update on the agenda of planning applications before the Committee.

PLANNING APPLICATIONS:

NOTES:

1. The order in which the applications will be considered at the meeting may be subject to change.
2. Plans are reproduced in the agenda for reference purposes only and are not reproduced to scale. Accordingly dimensions should not be taken from these plans and the originals should be viewed for detailed information. Most drawings in the agenda have been scanned, and reproduced smaller than the original, thus affecting image quality.

To consider the following applications :

5. 102 Horley Road, Redhill, Surrey (Pages 9 - 44)

Demolition of existing residential unit and workshops and erection of 6 detached, semi-detached and terraced two storey dwellings with new access, parking and amenity areas. As amended on 16/10/2019, 22/04/2020 and on 15/05/2020, 12/06/2020, 18/06/2020 and 23/07/2020.

6. Tesco Express, 73 Canalside, Redhill, Surrey (Pages 45 - 74)

Erection of roof extension to create 4x 1 bedroom flats and 4x 2 bedroom flats. As amended on 27/05/2020, 29/05/2020 and on 11/06/2020.

7. Land Adjacent to 122 Brambletye Park Road, Redhill, Surrey (Pages 75 - 100)

New three-storey building containing two semi-detached dwellings. External landscaping with four car parking spaces (two spaces for each dwelling). As amended on 15/04/2020 21/04/2020 13/05/2020, 20/05/2020, 10/07/2020 and on 20/08/2020.

8. The Royal Alexandra and Albert School, Gatton Park, Rocky Lane, Reigate (Pages 101 - 122)

Retention of temporary classrooms and boarding accommodation.

9. 60 Sangers Drive, Horley, Surrey (Pages 123 - 132)

Proposed single storey rear extension and garage conversion with new flat roof.

10. 29 Flanchford Road, Reigate (Pages 133 - 140)

Removal of front entrance gate, installation of part timber and part glazed front entrance door.

11. Any other urgent business

To consider any item(s) which, in the opinion of the Chairman, should be considered as a matter of urgency.



Our meetings

As we would all appreciate, our meetings will be conducted in a spirit of mutual respect and trust, working together for the benefit of our Community and the Council, and in accordance with our Member Code of Conduct. Courtesy will be shown to all those taking part.



Streaming of meetings

Meetings are broadcast live on the internet and are available to view online for six months. A recording is retained for six years after the meeting. In attending any meeting, you are recognising that you may be filmed and consent to the live stream being broadcast online, and available for others to view.



Accessibility

The Council's agenda and minutes are provided in English. However, the Council also embraces its duty to anticipate the need to provide documents in different formats, such as audio, large print or in other languages. The Council will provide such formats where a need is identified prior to publication or on request.



Notice is given of the intention to hold any part of this meeting in private for consideration of any reports containing "exempt" information, which will be marked accordingly.

BOROUGH OF REIGATE AND BANSTEAD

PLANNING COMMITTEE

Minutes of a meeting of the Planning Committee held at the Remote Meeting on 29 July 2020 at 7.30 pm.

Present: Councillors M. S. Blacker (Vice-Chair), J. S. Bray, J. Hudson, F. Kelly, J. P. King, S. A. Kulka, S. McKenna, R. Michalowski, S. Parnall (Chairman), R. Ritter, K. Sachdeva, C. Stevens, R. S. Turner, S. T. Walsh and C. T. H. Whinney (Substitute).

28. MINUTES

RESOLVED that the minutes of the meeting held on 8 July 2020 be approved and signed as a correct record.

29. APOLOGIES FOR ABSENCE

Apologies for absence were received from Councillor Harp (substituted by Councillor Whinney).

30. DECLARATIONS OF INTEREST

Councillor Whinney declared a non-pecuniary interest in item 5, Kingsmuir, 14 Ringley Park Road, Reigate on the basis that he had a personal relationship with the agent and a resident connected with the applicant. Councillor Whinney remained present for the duration of item 5 and participated in the debate but did not vote on this item.

31. ADDENDUM TO THE AGENDA

Members noted the Development Management Q1 2020/21 performance figures set out in Appendix C of the Addendum. Members thanked the Development Management team for their work during lockdown and maintaining performance through a challenging period.

RESOLVED that the addendum be noted.

32. KINGSMUIR, 14 RINGLEY PARK ROAD, REIGATE

The Committee considered an application at Kingsmuir, 14 Ringley Park Road, for the demolition of the existing dwelling and erection of a two storey building comprising seven flats.

Barney Hilsdon, a local resident, spoke in objection to the application on the grounds that the proposed development had a poor quality of design and would fail to make a positive contribution to the character and appearance of the surroundings. The size and scale of the development were not in keeping with existing residential properties and there would be a large-scale visual impact due to the size, height and footprint. Local residents were concerned about the road safety impact of the development.

Agenda Item 1

Planning Committee
29 July 2020

Minutes

Hamish Watson, the applicant, spoke in support of the application on the grounds that it was a well-conceived scheme that responded well to the existing street scene. A comprehensive planting scheme would enhance landscaping. The proposal had been amended three times following discussions with Council officers, including a last minute reorientation of the development so that it would be set parallel to the boundary of the site.

RESOLVED that planning permission be **GRANTED** as per the recommendation, subject to addendum changes and change to condition 10 to include details on timing of deliveries.

33. **CLEAR'S FARM STABLES, 1A THE CLEARS, REIGATE, SURREY, RH2 9JL**

The Committee considered an application at Clears Farm Stables, 1A The Clears, Reigate for the re-use of previously developed land to provide four open market residential dwellings and conversion of Reigate stone stable building to a carport.

Andrew Stewart, a local resident, spoke in objection of the application on the grounds that it was inappropriate and insensitive. Residents were concerned about road safety, a loss of privacy to existing residential properties and a negative visual impact on the green belt. The proposed building materials would not match the existing street scene and the development would be cramped and overdeveloped.

Barry Darling, the applicant, spoke in support of the application on the grounds that the proposed development would be in keeping with the picturesque surroundings. Green belt principles had been observed and the design was in line with planning policy. No trees would be removed and there would be a reduction in hard surfaced areas. There would be no danger to highway safety and there would be improvements to refuse collections. The proposals were sympathetically designed to complement the surroundings.

A motion to refuse the application was proposed and seconded and upon a vote it was **RESOLVED** that the Committee be minded to **REFUSE** planning permission on the grounds that:

- 1) The proposed development would, by reason of scale and design of the proposed dwellings and the different and smaller garden sizes in relation to the prevailing design of houses in the locality and the relatively larger garden sizes, result in an uncharacteristic and harmful development in this Countryside location. The proposal would thereby be contrary to policy DES1 of the Reigate and Banstead Local Plan Development Management Plan 2019.
- 2) The proposed development would result in two of the central properties not having carparking immediately adjoining or within their curtilage. This would result in inconvenience and an unsatisfactory layout of development contrary to policy DES1 and TAP1 of the Reigate and Banstead Local Plan Development Management Plan 2019.

and to **DELEGATE** the decision upon whether to grant planning permission or not to the Head of Planning subject to the expiry of the notification period and the consideration of any further representations received, and that the application would be reported for a decision upon by the Planning Committee if, on the consideration

of all the available information, the Head of Planning was minded to make a decision contrary to that of the Committee.

34. LIMELIGHT, 35A THE AVENUE, TADWORTH

The Committee considered a retrospective application at Limelight, 35A The Avenue, Tadworth for a 5 bedroom detached house (original consent 17/01149/F) for dwelling in location as shown on submitted plans (as built).

A motion to refuse the application was proposed by Councillor Blacker and seconded by Councillor Walsh whereupon the Committee voted and the motion was not carried.

RESOLVED that planning permission be **GRANTED** with conditions, as per the recommendation and addendum.

35. 12 FAIRACRES, AXES LANE, SALFORDS

The Committee considered an application at 12 Fairacres, Axes Lane, Salfords for the retention of the existing shed for the purposes of storage, maintenance and repair of showground vehicles and equipment.

RESOLVED that planning permission be **GRANTED** subject to conditions as per the recommendation and addendum.

36. ANY OTHER URGENT BUSINESS

There were no items of urgent business.

The Meeting closed at 10.08 pm

This page is intentionally left blank

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	2 September 2020
	REPORT OF:	HEAD OF PLANNING
	AUTHOR:	James Amos
	TELEPHONE:	01737 276188
	EMAIL:	james.amos@reigate-banstead.gov.uk
AGENDA ITEM:	5	WARD: <i>Earlswood and Whitebushes</i>

APPLICATION NUMBER:	19/01623/F	VALID:	10/09/2019
APPLICANT:	One Oak Development	AGENT:	BPG Architects and Planners
LOCATION:	102, HORLEY ROAD, REDHILL, SURREY, RH1 5AA		
DESCRIPTION:	Demolition of existing residential unit and workshops and erection of 6 detached, semi-detached and terraced two storey dwellings with new access, parking and amenity areas. As amended on 16/10/2019, 22/04/2020 and on 15/05/2020, 12/06/2020, 18/06/2020 and 23/07/2020.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

SUMMARY

This application was deferred from Planning Committee on 8th July as Members were concerned about the amount of development on the site, the amount of hardstanding, and requested further time to consider reasons for refusal.

Following the discussion at Committee, the applicants have submitted revised plans which show a reduction in the number of units on the site and a consequent reduction in the number of parking spaces and the area of hardstanding.

The number of units has been reduced to 5 in total. At the rear of the site, where a terrace of three dwellings was formerly proposed, the scheme now proposes two detached 4 bedroom dwellings. The number of car parking spaces has been reduced from 12 to 10 and the areas available for amenity scape have been increased.

Further consultations have been undertaken and responses have been received as follows:

Surrey Highways – The proposed development has been considered by the County Highway Authority (CHA) who having assessed the application on safety, capacity and policy grounds, recommends that conditions relating to the provision of the

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

vehicular access, the provision of a pedestrian indivisibility splay, provision of the proposed layby and the proposed refuse collection point, provision of the parking and turning areas, the provision of a Construction Transport Management Plan and the provision of electric vehicular charging points for each dwelling be imposed in any permission granted. The developer is proposing 10 car parking spaces, which is equivalent to 2 parking spaces per unit, and one visitor space which complies with Reigate and Banstead Parking requirements. The developer is also proposing one passing place for vehicles.

Tree Officer - The revised details have been reviewed and it is considered that that they will not have any additional impact on trees and vegetation at this site. As the previous comments in June recommended conditions these also needed to be reviewed. The landscape condition was the previously suggested condition but in light of the revised layout we could not proceed with the 'finalised' Tree Protection condition previously recommended and it is appropriate in these circumstances to recommend the full TPP condition attached as the Tree Protection plan will need to be revised in line with the revised layout.

No further comments have been received from local residents.

The reduction in the number of units and in the number of car parking spaces and the consequent reduction in the areas of hardstanding has resulted in improvements to the quality and character of the development, with greater separation between the pair of dwellings at the rear and larger rear gardens.

The applicants have put forward a short statement in support of the proposals which can be summarised as follows:

- *The proposal maximises the development of contaminated "Brown Field" land thus protecting the Green Belt.*
- *Creation of family homes.*
- *Due to contamination of the land the development of this land would be no longer viable under normal development criteria, which demonstrates commitment to the long term development of the requirements of the Borough where they live and work.*
- *The site is vacant and occupied by a derelict, dilapidated asbestos ridden bungalow and old industrial sheds. Together with a topsoil contaminated with oil spillages and no with no adequate surface water drainage thereby causing flooding in the past.*
- *The existing site is a derelict contaminated industrial yard that is 100% covered with buildings and paving therefore we are creating 634 sqm of new Green Space adjacent to the Green-Belt*
- *The remediation costs eliminate the normal developer profitability due to the substantial reduction in development units currently being proposed. Despite this we are recognising the Committee's concerns in demonstrating our continued flexible and partnering approach in further reducing the scheme to achieve the two stated aims listed above.*
- *The density of development (at 35 dpha) falls within the range of densities in adjoining areas (Between 25 dpha and 45 dpha).*

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5 }
19/01623/F }

- *The existing derelict buildings on site have a total site foot print of 369 sqm whereas the current scheme reduces this to 294 sqm.*

[Comment: It should be noted that with regard to the claimed remediation costs of the land and profitability claim stated above that the applicant has not supported the development proposal with a case of viability.]

The previous Officers report is set out below and the recommendation remains that planning permission should be granted.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	8 July 2020
	REPORT OF:	HEAD OF PLACES & PLANNING
	AUTHOR:	James Amos
	TELEPHONE:	01737 276188
	EMAIL:	james.amos@reigate-banstead.gov.uk
AGENDA ITEM:	11	WARD: <i>Earlswood and Whitebushes</i>

APPLICATION NUMBER:	19/01623/F	VALID:	10/09/2019
APPLICANT:	One Oak Development	AGENT:	BPG Architects and Planners
LOCATION:	102, HORLEY ROAD, REDHILL, SURREY, RH1 5AA		
DESCRIPTION:	Demolition of existing residential unit and workshops and erection of 6 detached, semi-detached and terraced two storey dwellings with new access, parking and amenity areas. As amended on 16/10/2019, 22/04/2020 and on 15/05/2020.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

SUMMARY

This is a full planning application for the erection of 6 detached, semi-detached and terraced two storey dwellings with associated parking and hard and soft landscaping.

The site is located on the western side of Horley Road, at the edge of the built -up area of South Earlswood. The site is in a mixed residential and commercial use, with a bungalow at the front of the site and a commercial yard to the rear which was formerly used as a haulage yard and agricultural machinery repair garage. The site is no longer suitable for the commercial use. The provision of additional housing is considered to outweigh the loss of the commercial part of the site.

The existing access to the site would be reused and a new access road would be constructed leading westwards into the site. At the front of the site, a pair of two storey semi-detached dwellings would be sited broadly on the footprint of the existing bungalow, with a single detached property in the central section of the site, and a terrace of three units at the rear. Each property would be of two storeys in height and would contain between 2 and 4 bedrooms. Each house would be provided with two parking spaces and a private rear garden. A further unallocated visitor parking space is proposed.

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

The site is generally level and adjoins residential dwellings to the north and west, with residential development on the eastern side of Horley Road. To the south is the Macdonald's restaurant.

Each of the proposed dwellings would have a plot size that would fall within the range of sizes in the area. The proposed dwellings would be of a traditional design which would complement neighbouring properties in the area. Each dwelling would be provided with sufficient parking and amenity areas. The amenities of neighbouring properties would not be harmed.

The most important trees on the site and those on the site boundary would be retained and protected. The proposals would result in some tree loss and a conflict with other trees. In the event that permission is granted, conditions on tree protection and landscaping are suggested.

The proposals would make efficient use of this previously developed site for new housing without harming amenities of neighbouring properties and are considered acceptable. The development would have an acceptable relationship with the neighbouring locally listed building and the proposals would provide an acceptable transition to the neighbouring open land to the south.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

Consultations:

Highway Authority: The proposed development has been considered by the County Highway Authority (CHA) who having assessed the application on safety, capacity and policy grounds, recommends that conditions relating to the provision of the vehicular access, the provision of a pedestrian indivisibility splay, provision of the proposed layby and the proposed refuse collection point, provision of the parking and turning areas, the provision of a Construction Transport Management Plan and the provision of electric vehicular charging points for each dwelling be imposed in any permission granted.

Environmental Health (Contaminated Land): There is some potential for contamination to be present associated with both historical and current use, as such a condition to deal with contaminated land and an informative to provide additional guidance is recommended.

Surrey CC Drainage Team: Stated that they were not satisfied that the proposed drainage scheme met the requirements set out in the submitted Surface Water Drainage Pro-forma and flood map for planning and recommended that further information be provided, including Ground Investigations confirming the suitability or otherwise of soakaway drainage, a drainage design which takes into account the SUDS hierarchy, drainage calculations illustrating existing and proposed surface water discharge rates and volumes, as well as the establishment of Greenfield run-off rates, and drawings and plans showing a proposed drainage layout and the location of surface water sewers in the area.

Further details of these requirements were submitted to the Surrey CC drainage and flooding team. In their response dated 23/06/2020, they state that they have considered the following submitted information:

- Drainage Strategy Report, VKHP Consulting, October 2019, revision -, document reference: 415119;
- Maintenance Plan for Surface Water Drainage, VKHP Consulting, October 2019, revision -, document reference: 415119;
- Exceedance Flows, VKHP Consulting, October 2019, revision -, document reference: 415119/101;

They state that they are not satisfied that the proposed drainage scheme meets the requirements set out in the aforementioned documents because significant issues have been identified. To overcome this, the following changes are required:

- The proposed drainage design appears to have little regard for SuDS design. The proposed drainage is a traditional piped system which has consideration for volume control only.
- Additional SuDS elements could be included within the design (such as porous paving, rainwater harvesting, rain gardens etc.), these could help improve water quality, biodiversity and amenity as well as volume control.
- Pre-development Greenfield runoff rates have not been established.
- Surrey County Council as Lead Local Flood Authority do not have a practical minimum for discharge off-site. If pre-development Greenfield runoff rates cannot be matched, then evidence should be submitted as to why.

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

- The proposed connection to the Thames Water infrastructure appears to go through 3rd party land. Agreements in principle (as a minimum) should be submitted to confirm that the route is appropriate.

They go on to state that in the event that planning permission is granted, suitably worded conditions should be applied to ensure that the SuDS Scheme is properly implemented and maintained throughout the lifetime of the development.

Surrey Police: State that they are unable to find reference to security or the creation of a safe and secure environment within the submitted application and consider that it would have been prudent for the applicant to consult the local Designing Out Crime officer prior to this submission to ensure clarity for security design compliance. Without this detail it is stated that they are unable to make an informed decision so at this time must side with caution and oppose the application.

Surrey CC Minerals and Waste team – No comments.

Reigate Society – Support for Conservation officers comments.

Representations:

Letters were sent to neighbouring properties on 19th September 2019, a site notice was posted 25th September 2019. Neighbours were re-notified on the revised plans for a 14 day period commencing 23rd April 2020 and again on 28th May 2020.

A single response has been received which raises the issue of the maintenance of a tree and a hedge at the rear of the site (see paragraphs 6.31 – 6.39) and the possibility of crime raised by the proposals (see paragraph 6.44).

1.0 Site and Character Appraisal

- 1.1 The site's frontage is occupied by a single storey detached dwelling to the rear of which are single storey workshops. The site lies on the western side of the A23, Horley Road in the southern part of South Earlswood. The site has been used as a haulage yard and agricultural machinery repair garage which has since relocated to a more accessible site.
- 1.2 This site is in the urban area immediately to the north of the Metropolitan Green Belt (MGB) and forms part of the setting of the neighbouring 18th century locally listed building to the south, the former Prince Albert public house (now McDonalds). Beyond the front building line of the McDonalds restaurant on the east side is open land, which has the same open landscape characteristics as Petridgewood Common to the south, having historically been part of that common land and therefore of unregistered common land status. To the north is a predominantly residential neighbourhood comprising mainly two storey semi-detached properties.
- 1.3 The Local Distinctiveness Guide defines the area around the site as being within the 1930s to 1950s suburbia. This period was the most extensive in terms of both public and private sector housing development. This type of

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

development is characterised by street-by-street uniformity in style with more affluent housing providing more space and designs embellished with greater detail, often a debased 'Arts and Craft' style.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: The applicant entered into pre-application discussions with the Council (PA/18/00161) for a proposal comprising of 14 flats in two blocks. The applicants were advised that the form of development would not provide an appropriate transition to the MGB, would be much higher than surrounding two storey development and was hard on the south edge of the plot. The proposed mansard roof was considered a bulky roof form uncharacteristic of the surrounding development. Concerns were also raised with regards to the loss of trees beyond the southern boundary and on the site.
- 2.2 Improvements secured during the course of the application: The application has been amended from its original submission to reduce the number of units proposed from 10 x 2 storey terraced houses, to 6 detached, semi-detached and terraced houses. Further improvements have been secured following discussions with the Highways Authority which have resulted in the access road being relocated to the northern side of the site and the containment of all parking within the site.
- 2.3 Further improvements could be secured through the use of conditions relating to materials, site de-contamination, tree protection and landscaping and highways matters.

3.0 Relevant Planning and Enforcement History

None.

4.0 Proposal and Design Approach

- 4.1 This is a full application for the demolition of existing buildings on the site and for the erection of 6 detached, semi-detached and terraced houses with a new access, car parking and amenity areas for each house. The dwellings would be of a traditional design with brick elevations and concrete files to the roofs.
- 4.2 The proposed layout shows a pair of semi-detached houses at the front of the site, a single detached house in the central portion and a short terrace of three houses at the rear. Parking for the units is spread throughout the site, although none is now proposed with direct access to Horley Road. A total of 13 parking spaces are proposed, equating to 2 spaces per unit with 1 visitor space. The proposed layout also allows for the entry and exist of a fire tender, but a refuse collection vehicle is likely to stop at the site entrance from Horley Road and pick up waste material from a collection point.

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

- 4.3 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.4 Evidence of the applicant's design approach is set out below:

Assessment	The character of the surrounding area is assessed as suburban residential development of one and two storey high residential properties with a variety of pitched roof forms. The metropolitan green belt extends to the south with a locally listed 2 storey restaurant.
	No site features worthy of retention were identified.
Involvement	No community consultation took place.
Evaluation	The other development options considered were a scheme of 14 flats in 2 blocks and as originally submitted, a scheme for 10 x 2 storey dwellings. In both cases, the Council considered the proposals unacceptable. Continuing an employment use has been considered but the location makes the land inappropriate for commercial uses.
Design	The applicant's reasons for choosing the proposal from the available options were to make efficient use of the site whilst ensuring a viable contribution towards housing supply.

- 4.5 Further details of the development are as follows:

Site area	0.14ha
Existing use	Mixed residential and commercial workshops
Proposed use	Residential
Existing parking spaces	2
Proposed parking spaces	15
Parking standard	15
Net increase in dwellings	5
Proposed site density	43 dpha

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

Density of the surrounding area	25 dpha
---------------------------------	---------

5.0 Policy Context

5.1 Designation

Urban area
Adjacent to metropolitan green belt
Adjacent to locally listed building

5.2 Reigate and Banstead Core Strategy

CS1(Sustainable Development)
CS5 (Valued People/Economic Development),
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS12 (Infrastructure Delivery),
CS14 (Housing Needs)
CS15 (Affordable Housing)
CS17 (Travel Options and accessibility)

5.3 Reigate and Banstead Development Management Plan 2019

DES1 (Design of New development)
DES8 (Construction Management)
DES9 (Pollution and Contaminated Land)
TAP1 (Access, Parking and Servicing)
CCF1 (Climate Change Mitigation)
NHE3 (Protecting trees, woodland areas and natural habitats)
INF3 (Electronic communication networks)

5.4 Other Material Considerations

National Planning Policy Framework
National Planning Practice Guidance
Supplementary Planning Guidance

Surrey Design
Local Distinctiveness Design Guide
Vehicle and Cycle Parking
Guidance 2018
Householder Extensions and
Alterations
Affordable Housing
Outdoor Playing Space Provision

Other

Human Rights Act 1998
Community Infrastructure Levy
Regulations 2010

6.0 Assessment

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms.

6.2 The main issues to consider are:

- Safeguarding of Employment land
- Design appraisal
- Neighbour amenity
- Highway matters
- Impact on trees
- Ecological issues
- Sustainable Construction
- Community Infrastructure Levy

Safeguarding of Employment Land

6.3 The existing use of the site is a mixed use residential and employment site, albeit of limited employment use. The requirements of DMP Policy EMP4 is therefore relevant. Policy EMP4 states as follows:

Development of existing employment land and premises must comply with the following criteria:

1. The loss of employment land and premises will only be permitted if:

- a. it can be clearly demonstrated that there is no reasonable prospect of (or demand for) the retention or redevelopment of the site for employment use (see Annex 3 for information on what will be required to demonstrate this); or*
- b. the loss of employment floorspace is necessary to enable a demonstrable improvement in the quality and suitability of employment accommodation; or*
- c. the proposal would provide a public benefit which would outweigh the loss of the employment floorspace.*

2. Where loss is justified under (1) above, proposals for non-employment uses will only be permitted if they would not adversely affect the efficient operation or economic function of other employment uses or businesses in the locality.

6.4 In support of the proposals, the applicants state that historically the site has been used as a small haulage / vehicle repair garage for a self-employed haulier / mechanic. They state that the residential nature of the site / location is not suitable for the noisy and dirty industrial work undertaken by the business. More significantly the size of the farm machinery that is being worked on has greatly increased in size over the years and the site is too small for the storage required. They go on to state that the size of the site

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

makes it impractical for a larger haulage business and the proximity to adjoining housing and the green belt makes this and alternative commercial uses inappropriate.

- 6.5 It is noted that the business formerly on the site has moved to a new location so there has been no loss of employment as a result of these proposals.
- 6.6 The applicants have not provided any marketing evidence in accordance with the requirements of DMP Policy EMP4 but put forward the case that the site is no longer suitable for employment use due to its size, due to the increase in the size of the equipment that was being stored and serviced on the site and due to the location of the site within a residential area which, due to the type of work that was undertaken on the site, resulted in noise and disturbance to adjoining residents.
- 6.7 The site is in a mixed residential and employment use with a small bungalow at the front of the site. The loss of employment use is limited to the collection of buildings at the rear of the site. The replacement of the collection of outdated and derelict employment buildings with high quality modern housing, in a mix of unit sizes provides a public benefit which would outweigh the loss of the limited amount of low quality of employment floorspace on the site, and also replaces the existing outdated bungalow with new accommodation. In this regard, it is considered that the proposals accord with the first part of DMP Policy EMP4.
- 6.8 With regards to the second part of the policy, the site is isolated from any other employment uses and adjoins residential properties to the north and west, with residential development on the eastern side of Horley Road and open land to the south. In these circumstances, the proposed residential development would not adversely affect the efficient operation or economic function of other employment uses or businesses in the locality and would, therefore, accord with the requirements of DMP Policy EMP4.

Design appraisal

- 6.9 DMP Policy DES1 relates to the Design of New Development and requires new development to be of a high quality design that makes a positive contribution to the character and appearance of its surroundings. New development should promote and reinforce local distinctiveness and should respect the character of the surrounding area. The policy states that new development will be expected to use high quality materials, landscaping and building detailing and have due regard to the layout, density, plot sizes, building siting, scale, massing, height, and roofscapes of the surrounding area, the relationship to neighbouring buildings, and important views into and out of the site.
- 6.10 The site comprises a mixed use residential and commercial site located on the western side of Horley Road on the edge of the built up area. The site adjoins residential development to the north and west, with two storey semi-detached and terraced properties in the vicinity. The form and scale of

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

development proposed in this case would be similar with a mixture of two storey detached, semi-detached and terraced properties.

- 6.11 The proposed layout shows a pair of semi-detached dwellings at the front of the site, on the same building line as the neighbouring properties to the north, with the proposed access road in a similar location to the existing vehicular access point. The access would lead into the site, with a terrace of three two storey properties at the western end and a single two storey detached house in the central section. Plot sizes are relatively small compared with some in the area, but there is a range of plot sizes adjoining and close to the site and the proposed plots in this case would not be dissimilar to others in the area.
- 6.12 The proposed dwellings would be of a traditional design with a brick and tile clad elevations and pitched roofs finished with tiles. No details of the materials have been provided at this stage and if permission is granted, it is suggested that further details are provided by condition.
- 6.13 To the south of the site is the Macdonald's drive thru restaurant, formerly the Prince Albert public house, a locally listed building to the south, which is set on a common setting with hedge boundaries. The Council's conservation officer was consulted on the original proposals for 10 dwellings and noted that it was important that the hedge and trees are retained, therefore acceptability of the scheme in terms of the setting would be partly dependent on the tree officer's assessment of the impact on trees and shrubs. He also stated that the density of the scheme, which is quite high, would be a matter of judgement for the planning officer, but the elevational treatment needs more consideration in terms of local distinctiveness. He suggested that tile hanging would help to soften the scheme and attention to such matters as roof materials and avoid such detailing as soldier brick arches.
- 6.14 In response, the revised plans for 6 units show a scheme of a lower density and with tile hanging to the elevations. The conservation officer has reviewed the revised plans and considers that the amendments have resolved the issues of setting of the locally listed building. Given the setting, he considers that a reasonable standard of detail and materials would be required and recommends that conditions be imposed which would require all rooflights to be black painted conservation rooflights with a single vertical glazing bar, that the bargeboards and gutter fascias shall be no more than 150mm height, to reduce the excessive size of the gutter fascia and bargeboards shown on the elevations, that tile hanging and roofs shall be of sandfaced plain tiles, that all windows should have a casement in each opening to ensure equal sightlines. And that details of all materials, and boundary enclosures should be submitted to and approved in writing by LPA. He also recommends withdrawal of permitted development rights for further extensions and means of enclosure.
- 6.15 The application has been revised since its original submission as a scheme for 10 units. It is considered that the proposal for 6 units makes full use of the site, whilst providing an acceptable layout and form of development which would be compatible with the character of the surrounding area. It is

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

considered therefore that the proposals comply with the provisions of DMP Policy DES1.

- 6.16 DMP Policy DES4 relates to Housing Mix and states that all new residential developments should provide homes of an appropriate type, size and tenure to meet the needs of the local community. The proposed housing mix must on sites of up to 20 homes, at least 20% of market housing should be provided as smaller (one and two bedroom) homes. In this case, one of the 6 units would be a two bedroom house with the others provided with 3 or 4 bedrooms. This equates to a 17% provision of smaller units, which given the form and layout of development proposed is considered acceptable.
- 6.17 DMP Policy DES5 relates to the delivery of high quality homes and requires, *inter alia*, that as a minimum, all new residential development (including conversions) must meet the relevant nationally described space standard for each individual units except where the Council accepts that an exception to this should be made in order to provide an innovative type of affordable housing that does not meet these standards. In addition, the policy also requires all new development to be arranged to ensure primary habitable rooms have an acceptable outlook and where possible receive direct sunlight.
- 6.18 Each dwelling would have a floor area which accords with the relevant standard in the Nationally Described Space Standards. Each dwelling would also be provided with appropriate levels of south or west facing amenity areas. In this regards the proposal would accord with DMP Policy DES6.

Neighbour amenity

- 6.19 In addition to the comments noted above DMP Policy DES1 also requires new development to provide an appropriate environment for future occupants whilst not adversely impacting upon the amenity of occupants of existing nearby buildings, including by way of overbearing, obtrusiveness, overshadowing, overlooking and loss of privacy.
- 6.20 The proposed dwellings would possess a sufficient level of separation from dwellings neighbouring the site so as to not appear overbearing or cause significant overshadowing. At the front of the site, plots 1 and 2 would benefit from good separation to its neighbours to either side with a gap of at least 10m to no.100, Horley Road. At the rear of the site, the flank wall of the proposed dwelling on plot 4 would be located approximately 10.5m from the rear elevation of no. 5, Tollgate Avenue. The design of the proposed dwelling on plot 4 also takes account of this relationship with lowered eaves and a lower overall height, sufficient to avoid an overbearing impact on the neighbouring dwelling to the north. Plot 3, in the central section of the site, would be orientated with its principal elevations facing north and south. The design of the dwelling includes windows to principal rooms at first floor level facing north. Which would serve bedrooms. The separation distance to the northern boundary exceeds 8m, but with landscaping on the northern boundary of the site between, there would be limited overlooking of the rear garden of the neighbouring property.

- 6.21 The separation distances, together with the provision of landscaping retained vegetation on the boundary would ensure that the amenities of residents in neighbouring properties are not significantly impacted by reason of overlooking, an overbearing impact or a loss of privacy.
- 6.22 The additional vehicles that would result from the development and access road are of a sufficient distance from existing and proposed dwellings so as to not cause a significant level of noise and disturbance to those properties. The type of vehicles accessing the rear of the site would be different to those that formerly used the site and is likely to lead to less noise and disturbance to neighbouring residents
- 6.23 In conclusion, the proposal would not have a significant adverse effect upon existing neighbouring properties and would accord with the provisions of DMP Policy DES1.

Highway matters

- 6.24 The proposed development has been reviewed by the County Highway Authority on a number of occasions and amendments have been made to the position of the access road and to the layout of the proposed development.
- 6.25 With regards to the original submission for 10 units the CHA raised concerns with regards to the provision of visibility splays either side of the access road and also raised concerns with regards to the intensification of the use of the southernmost access into the site which they considered would introduce additional possible conflicts between vehicles, particularly if vehicles exiting the site were attempting to turn right to use an existing gap in the central reservation in Horley Road. They also requested traffic generation data for the existing and proposed uses of the site.
- 6.26 The application was subsequently amended to a scheme for 6 dwellings and the CHA offered further comments as follows. They stated that it had not been demonstrated that the proposed access arrangements were compatible with the surrounding highway infrastructure at a point in the highway where there would be conflicting turning movements at the Horley Road junction with Prince Albert Road which is also shared with the neighbouring McDonald site to the south and where the proposed four car parking spaces at the site's eastern frontage onto Horley Road would introduce even more conflict at the junction contrary to National Planning Policy Framework 2019 and Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.
- 6.27 They also suggested that the above objection maybe overcome if the applicant were to move the access to the northern side of the site or they were to extend the central reservation south to prevent right turn manoeuvres from the proposed access, without preventing right turn manoeuvres from Prince Albert Road. The objection would also be overcome if all car parking for the development were located within the site as opposed to on the edge of

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

the site with the highway. They stated that accident data shows there is a history of accidents at the Horley Road junction with Prince Albert Road. The applicant was informed early on in the application process that the highway authority is concerned about a further development at the junction introducing further movements. The applicant is proposing a sign to advise against right turn manoeuvres, as is the case at the McDonalds access, but neither is enforceable.

- 6.28 In response, a revised layout has been submitted which has the access on the northern side of the site and relocates all of the parking within the site. The revised layout is considered acceptable by the CHA who confirm that the developer is proposing two parking spaces for each of the proposed 6 dwellings, and one visitor parking space. According to Reigate and Banstead Parking Standards the proposed development should include 13 parking spaces for the dwellings and two visitor parking spaces. The proposed development is located within 400 metres of bus stops that serve buses going to Epsom, Crawley and Redhill. In addition, the development is located in a location which has on street parking at sensitive locations. It is unlikely that drivers would park on Horley Road, but if they did this is unlikely to cause a highway safety problem where the carriageway is straight with good forward visibility.
- 6.29 They also consider that the site includes adequate turning space for a fire appliance to enter and leave the site in forward gear. Clearly a car would be able to enter and leave the site in forward gear. There is unlikely to be space for a refuse vehicle to enter and leave the site in forward gear but there is space for a refuse collection point with 25 metres of the highway for refuse personal to collect waste. The existing properties along Horley Road are also serviced directly from the highway so the same happening at 102 Horley Road would not be an issue.
- 6.30 As a result, it is considered that the proposals are acceptable from a highway point of view and accord with the provisions of DMP Policy TAP1

Trees

- 6.31 The Council's tree officer has reviewed the proposals and notes that the surrounding trees and hedging that border this site are important and extensive efforts were made in their retention during the redevelopment of the adjoining site.
- 6.32 With regards to the original submission, he noted that the application was supported by detailed arboricultural information in the form of a Tree Protection Plan, Arboricultural Method Statement and an Arboricultural Impact Assessment. The arboricultural information has been compiled adopting the guidance and methodology set out within British Standard 5837:2012. The AIA deals with the potential impact from the development the existing trees and vegetation stock with three trees being removed, current layout and design also result in incursions into root protection areas of

retained trees and hedging, incursion into the RPAs of tree number T4 T5 and both hedge section H1 and H2 are expected from this layout.

- 6.33 The AIA set out the tree loss as a direct result of the proposed development and involves the removal of T1 T2 and T3 with the exception T1 plum which is 'C' category the two other trees are both oaks of reasonable size with trunk diameters in excess measured at 1.5m from ground level of 750mm. T3 despite its growing position has been categorised 'B' with T2 suffering from compaction from vehicles as a result of the former use of the site. He noted that whilst the loss of these trees may very well be arboriculturally justified they do make a contribution as components of the surrounding landscape. The retention of T3 may be possible due to redesign and layout and should be considered in any further revisions to design and layout that may be required by the Council. The protection of existing hedge rows is extremely important, particularly H2 where the loss involves a relatively minor section and is detailed at just short of 4m. H2 provides significant separation between the existing site and the setting of the listed building located on land to the south.
- 6.34 The tree officer also noted that incursions will involve some hard surfacing and foundations which would require being of specialist design, if long lasting and adverse effects on future tree health and vigour are to be avoided. Whilst many areas of the AMS are site specific, equally much of the AMS is generic. The general information in respect of the supervision and monitoring of the site, impact etc. is considered to be broadly acceptable.
- 6.35 He went on to state that the existing use of the application site may also produce challenges from the demolition and groundwork preparation stages, I believe that the use of the site has been mainly storage of machinery etc., however land contamination could not be ruled out and remedial works in respect of land contamination can have devastating effects on soil levels resulting in damage and disturbance to rooting environments of retained trees and vegetation.
- 6.36 It was also noted that the arboricultural information does make mention of underground services, but no precise information is supplied on the detail of these services at this time which will more than likely have to be upgraded from current services to facilitate the proposed future usage and development of the site. The use of specialist hard surfacing such as a multi-dimensional cellular structure has been mentioned, however the design of such a system requires collaboration between the retained arboricultural consultant and the structural engineer at an early stage to ensure that it is fit for purpose, also temporary surfaces would be required to facilitate construction activity and processes; these engineering solutions can often result in changes of levels affecting root protection areas.
- 6.37 The tree officer also noted an absence of landscape information and mitigation planting for the potential tree and partial hedge losses and requested that further information be submitted with regards to the design of hard surfaces, underground services and the management of existing trees, hedge rows both on and off site. The submission of at least an illustrative

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

landscape design to demonstrate how the impact and loss of trees and hedges will be mitigated and how the existing landscape will be improved and enhance in line with the requirements of the relevant Policies contained within the Council's Local Plan.

- 6.38 Following the submission of the revised scheme for 6 units, the tree officer has stated that the proposed development shows the retention of most of the existing hedges both on and adjoining the site, it also shows the mature oak tree detailed 5 in the survey details retained subject to tree protection measures. The revised layout appears to have been designed without the collaboration of the arboricultural consultant in respect of incursions into root protection areas and possible conflict in the future between occupants of plots 1 and 2 and the oak tree detailed T5 which is located off site. T5 may require some facilitation pruning to accommodate the proposed development relating to plots 1 and 2. Three trees are lost to the development tree numbers T1 T2 and T3. Tree T2 is a young mid aged oak which has been categorised 'B' whilst every effort should be made to retain B category trees in line with Council policy, T2 is in such close proximity to plots 5 and 6 that a tenable future relationship between tree, occupants and structures could not be achieved and this conflict would only increase as the tree matures.
- 6.39 In order to mitigate the loss of the category 'B' tree it will be necessary to secure large replacement planting.
- 6.40 If consent is granted, the tree officer states that it would be essential to seek tree protection measures which will need to include supervision at key stages of the development and monitoring by a suitably qualified arboricultural consultant and high levels of tree protection measures some specialist construction methods may be required in respect of hard surfaces. In the event that planning permission is granted, conditions would be imposed to secure the required tree protection measures and landscaping.

Ecological Issues

- 6.41 The application is supported a Preliminary Ecological Assessment which concluded that there was no evidence of bat activity in the buildings on the site, and that there was moderate bat activity in the area. The report also concludes that there the site does not contain evidence of other protected species. A number of recommendations are made with regards to external lighting and the provision of bat and bird boxes on trees around the site. In the event that planning permission is granted a condition is recommended which will ensure that these measures are implemented within the development.

Sustainable Construction

- 6.42 DMP Policy CCF1 relates to climate change mitigation and requires new development to meet the national water efficiency standard of 110litres/person/day and to achieve not less than a 19% improvement in the Dwelling Emission Rate (DER) over the Target Emission Rate (TER) as defined in Part L1A of the 2013 Building Regulations. No evidence has been submitted to demonstrate that that the proposed development can achieve

either of the two requirements. However, in the event that planning permission was to be granted, a condition could be imposed to seek such information prior to the commencement of development. In this regard, there would be no conflict with DMP Policy CCF1.

Community Infrastructure Levy (CIL)

- 6.43 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, road, public transport and community facilities which are needed to support new development. This development would be CIL liable and the exact amount would be determined and collected after the grant of planning permission.

Other Issues

- 6.44 Concern has been raised from a neighbouring properties regarding fear of crime. The proposal would result in the redevelopment of a site adjacent to rear gardens. A new boundary treatment is proposed, and the development is not considered to cause crime issues.

CONDITIONS

- The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

- The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan Type	Reference	Version	Date
Location Plan	4005 BPG XX-XX DR A 1001		20/08/2019
Existing site plan	4005 BPG XX-XX DR A 1101	PL2	05/09/2019
Existing elevations	4005 BPG XX-XX DR A 3303	PL1	05/09/2019
Site layout plan	4005 BPG XX-XX DR A 3313	PL14	18/06/2020
Roof layout	4005 BPG XX-XX DR A 1310	PL4	18/06/2020
Block A	4005 BPG XX-XX DR A 1315	PL4	18/06/2020
Block B	4005 BPG XX-XX DR A 1316	PL8	18/06/2020
Block C	4005 BPG XX-XX DR A 1317	PL5	18/06/2020
Garden Shed	4005 BPG XX-XX DR A 3302	PL1	05/09/2019

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

3. No development shall take place above slab level until written details of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details. The submitted details shall include the following:
- 1) All rooflights shall be black painted conservation rooflights with a single vertical glazing bar.
 - 2) The bargeboards and gutter fascias shall be no more than 150mm height, to reduce the excessive size of the gutter fascia and bargeboards shown on the elevations.
 - 3) The tile hanging and roofs shall be of sandfaced plain tiles.
 - 4) All windows to have a casement in each opening to ensure equal sightlines.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

4. No development shall commence including demolition or any groundworks preparation until a detailed, scaled Tree Protection Plan (TPP) and the related Arboricultural Method Statement (AMS) is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include details of the specification and location of exclusion fencing, ground protection and any construction activity that may take place within the Root Protection Areas of trees (RPA) shown to scale on the TPP, including the installation of service routings. The AMS shall also include a pre-commencement meeting with the LPA, supervisory regime for their implementation & monitoring with an agreed reporting process to the LPA. All works shall be carried out in strict accordance with these details when approved.

Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and policies NHE3 and DES1 of the Reigate and Banstead Borough Local Plan September 2019.

5. No development shall commence on site until a scheme for the landscaping and replacement tree planting of the site including the retention of existing landscape features has been submitted and approved in writing by the local planning authority. Landscaping schemes shall include details of hard landscaping, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or use of the approved

development or in accordance with a programme agreed in writing with the local planning authority

All new tree planting shall be positioned in accordance with guidelines and advice contained in the current British Standard 5837. Trees in relation to construction.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, and shrubs of the same size and species.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE3.

6. The development hereby permitted shall not commence until details of the design of a surface water drainage scheme have been submitted to and approved in writing by the planning authority. The design must satisfy the SuDS Hierarchy and be compliant with the national Non-Statutory Technical Standards for SuDS, NPPF and Ministerial Statement on SuDS. The required drainage details shall include:
- a) Evidence that the proposed final solution will effectively manage the 1 in 30 & 1 in 100 (+40% allowance for climate change) storm events and 10% allowance for urban creep, during all stages of the development. Associated discharge rates and storage volumes shall be provided using a maximum discharge equivalent to the pre-development Greenfield runoff.
 - b) Detailed drainage design drawings and calculations to include: a finalised drainage layout detailing the location of drainage elements, pipe diameters, levels, and long and cross sections of each element including details of any flow restrictions and maintenance/risk reducing features (silt traps, inspection chambers etc.).
 - c) A plan showing exceedance flows (i.e. during rainfall greater than design events or during blockage) and how property on and off site will be protected.
 - d) Details of drainage management responsibilities and maintenance regimes for the drainage system.
 - e) Details of how the drainage system will be protected during construction and how runoff (including any pollutants) from the development site will be managed before the drainage system is operational.

Reason: To ensure the design meets the national Non-Statutory Technical Standards for SuDS and the final drainage design does not increase flood risk on or off site and Policy CCF2 of the Reigate and Banstead Local Plan Development Management Plan September 2019.

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

7. Prior to the first occupation of the development, a verification report carried out by a qualified drainage engineer must be submitted to and approved by the Local Planning Authority. This must demonstrate that the drainage system has been constructed as per the agreed scheme (or detail any minor variations), provide the details of any management company and state the national grid reference of any key drainage elements (surface water attenuation devices/areas, flow restriction devices and outfalls).

Reason: To ensure the Drainage System is designed to the National Non-Statutory Technical Standards for SuDS and Policy CCF2 of the Reigate and Banstead Local Plan Development Management Plan September 2019.

8. No part of the development shall be occupied unless and until the proposed vehicular access to Horley Road has been constructed and provided with vehicle sight lines of 43 metres in both directions from a point 2.4 metres back into the access from the near side kerb line in accordance with the approved plan numbered 4005 BPG XX-XX DR A 3313 PL14 and the visibility zones shall be kept permanently clear of any obstruction between 0.6 and 2.0 metres in height above the ground.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 of the Reigate and Banstead Local Plan Development Management Plan September 2019.

9. The development hereby approved shall not be commenced unless and until a pedestrian inter-visibility splay measuring 2m by 2m has been provided on each side of the access to Horley Road, the depth measured from the back of the footway (or verge) and the widths outwards from the edges of the access in accordance with a scheme to be submitted to and approved in writing with the Local Planning Authority.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

10. No part of the development shall be occupied unless and until the proposed lay by for passing vehicles and the proposed refuse collection point has been constructed in accordance with the approved plan numbered 4005 BPG XX-XX DR A 3313 PL14 with all to be permanently retained.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

11. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plan numbered 4005 BPG XX-XX DR A 3313 PL14 for 10 cars to be parked in the allocated spaces and for one visitor parking space and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking and turning areas shall be retained and maintained for their designated purposes.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

12. No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) programme of works (including measures for traffic management)
 - (e) provision of boundary any hoarding behind visibility zones
 - (f) HGV deliveries and hours of operation
 - (g) vehicle routing
 - (h) measures to prevent the deposit of materials on the highway
 - (i) before and after construction condition surveys of the highway and a commitment to fund the repair of any damage caused
 - (k) on-site turning for construction vehicles
- has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy DES8 Construction Management of the Reigate and Banstead Local Plan Development Management Plan September 2019.

13. Prior to commencement of development a written comprehensive environmental desktop study report is required to identify and evaluate possible on and off site sources, pathways and receptors of contamination and enable the presentation of all plausible pollutant linkages in a preliminary conceptual site model. The study shall include relevant regulatory consultations such as with the Contaminated Land Officer and be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify. The report shall be prepared in accordance with the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175.

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

REASON: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10, Reigate and Banstead Development Management Plan Policy DES9 and the provisions of the NPPF

14. Prior to the commencement of development, in follow-up to the environmental desktop study report, a contaminated land site investigation proposal, detailing the extent and methodologies of sampling, analyses and proposed assessment criteria required to enable the characterisation of the plausible pollutant linkages identified in the preliminary conceptual model, shall be submitted to the Local Planning Authority. This is subject to the written approval in writing of the Local Planning Authority, and any additional requirements that it may specify, prior to any site investigation being commenced on site. Following approval, the Local Planning Authority shall be given a minimum of two weeks written notice of the commencement of site investigation works.

REASON: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10, Reigate and Banstead Development Management Plan Policy DES9 and the provisions of the NPPF

15. Prior to commencement of the development, a contaminated land site investigation and risk assessment, undertaken in accordance with the site investigation proposal as approved that determines the extent and nature of contamination on site and is reported in accordance with the standards of DEFRA's and the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175, shall be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify. If applicable, ground gas risk assessments should be completed in line with CIRIA C665 guidance.

REASON: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10, Reigate and Banstead Development Management Plan Policy DES9 and the provisions of the NPPF

16. A. Prior to commencement of the development a detailed remediation method statement should be produced that details the extent and method(s) by which the site is to be remediated, to ensure that unacceptable risks are not posed to identified receptors at the site and details of the information to be included in a validation report, has been submitted to and approved in writing by the Local Planning Authority, and any additional requirements that it may specify, prior to the remediation being commenced on site. The Local Planning Authority shall then be given a minimum of two weeks written notice of the commencement of remediation works.

B. Prior to occupation, a remediation validation report for the site shall be submitted to the Local Planning Authority in writing. The report shall detail evidence of the remediation, the effectiveness of the remediation carried out and the results of post remediation works, in accordance with the approved remediation method statement and any addenda thereto, so as to enable future interested parties, including regulators, to have a single record of the remediation undertaken at the site. Should specific ground gas mitigation measures be required to be incorporated into a development the testing and verification of such systems should be in accordance with CIRIA C735 guidance document entitled 'Good practice on the testing and verification of protection systems for buildings against hazardous ground gases' and British Standard BS 8285 Code of Practice for the design of protective measures for methane and carbon dioxide ground gases for new buildings.

REASON: To demonstrate remedial works are appropriate and demonstrate the effectiveness of remediation works so that the proposed development will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10, Reigate and Banstead Development Management Plan Policy DES9 and the provisions of the NPPF

17. Unexpected ground contamination: Contamination not previously identified by the site investigation, but subsequently found to be present at the site shall be reported to the Local Planning Authority as soon as is practicable. If deemed necessary development shall cease on site until an addendum to the remediation method statement, detailing how the unsuspected contamination is to be dealt with, has been submitted in writing to the Local Planning Authority. The remediation method statement is subject to the written approval of the Local Planning Authority and any additional requirements that it may specify.

Note: Should no further contamination be identified then a brief comment to this effect shall be required to discharge this condition.

REASON: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to Reigate and Banstead Borough Council Core Strategy CS10, Reigate and Banstead Development Management Plan Policy DES9 and the provisions of the NPPF

18. The development hereby approved shall not be occupied unless and until each of the proposed dwellings are provided with a fast charge socket (current minimum requirements - 7 kw Mode 3 with Type 2 connector - 230v AC 32 Amp single phase dedicated supply) in accordance with a scheme to be submitted and approved in writing by the Local Planning Authority and thereafter retained and maintained to the satisfaction of the Local Planning Authority.

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17 (Travel Options and Accessibility).

19. The development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment to be erected has been submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be completed before the occupation of the development hereby permitted.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

20. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, (or any Order revoking and re-enacting that Order with or without modification), no first floor windows, dormer windows or rooflights other than those expressly authorised by this permission shall be constructed.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

21. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions permitted by Classes A B and C of Part 1 of the Second Schedule of the 2015 Order shall be constructed.

Reason: To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the policy DES1 of the Reigate and Banstead Development Management Plan 2019.

22. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will:
- a) Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day
 - b) Achieve not less than a 19% improvement in the Dwelling Emission Rate (DER) over the Target Emission Rate (TER) as defined in Part L1A of the 2013 Building Regulations

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

23. All dwellings within the development hereby approved shall be provided with the necessary infrastructure to facilitate connection to a high speed broadband. Unless otherwise agreed in writing with the Local Planning Authority, this shall include as a minimum:
- a) A broadband connection accessed directly from the nearest exchange or cabinet
 - b) Cabling and associated installations which enable easy access for future repair, replacement or upgrading.

Reason: To ensure that the development promotes access to, and the expansion of, a high quality electronic communications network in accordance with Policy INF3 of the Reigate & Banstead Development Management Plan 2019.

24. The development hereby permitted shall be implemented in accordance with the recommendations, avoidance and mitigation measures identified in the Preliminary Ecological Appraisal (Arbtech dated 31/01/2018 updated 02/210/2018) at section 4.2. Any variation shall be agreed in writing by the Local Planning Authority before such change is made. All ecological enhancement shall be completed prior to first occupation of the development. This condition will be discharged on receipt of a letter from the project ecologist stating that the mitigation has been completed according to the recommendations.

Reason: To ensure that the development would not harm wildlife or protected species and deliver a biodiversity enhancement in accordance with Policy NHE2 of the Development Management Plan, Natural England standing advice and the provisions of the NPPF.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
3. The applicant is advised that prior to the initial occupation of any individual dwelling hereby permitted, to contact the Council's Neighbourhood Services team to confirm the number and specification of recycling and refuse bins that are required to be supplied by the developer. The Council's Neighbourhood Services team can be contacted on 01737 276292 or via the Council's website at <http://www.reigate->

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

banstead.gov.uk/info/20085/planning_applications/147/recycling_and_waste_developers_guidance

4. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
- (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

5. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme; (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.

6. The applicant is advised that the Borough Council is the street naming and numbering authority and you will need to apply for addresses. This can be done by contacting the Address and Gazetteer Officer prior to construction commencing. You will need to complete the relevant application form and upload supporting documents such as site and floor layout plans in order that official street naming and numbering can be allocated as appropriate. If no application is received the Council has the authority to allocate an address.

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

This also applies to replacement dwellings. If you are building a scheme of more than 5 units please also supply a CAD file (back saved to 2010) of the development based on OS Grid References. Full details of how to apply for addresses can be found http://www.reigatebanstead.gov.uk/info/20277/street_naming_and_numbering.

7. Notwithstanding any permission granted under the Planning Acts, no signs, devices or other apparatus may be erected within the limits of the highway without the express approval of the Highway Authority. It is not the policy of the Highway Authority to approve the erection of signs or other devices of a non-statutory nature within the limits of the highway.
8. The permission hereby granted shall not be construed as authority to carry out any works on the highway or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a permit and, potentially, a Section 278 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see <http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme>. The applicant is also advised that Consent may be required under Section 23 of the Land Drainage Act 1991. Please see www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/floodingadvice.
9. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
10. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.
11. It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to: <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html> for guidance and further information on charging modes and connector types.
12. The use of a suitably qualified arboricultural consultant is essential to provide acceptable submissions in respect of the arboricultural tree condition above.

Agenda Item 5

Planning Committee
2 September 2020

Agenda Item: 5
19/01623/F

All works shall comply with the recommendations and guidelines contained within British Standard 5837.

13. The use of landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant conditions. Replacement planting of trees and native hedging shall be in keeping with the character and appearance of the locality. There is an opportunity to incorporate structural landscape trees into the scheme to provide for future amenity and long term continued structural tree cover in this area. It is expected that the replacement structural landscape trees will be of Advanced Nursery Stock sizes with initial planting heights of not less than 4.5m with girth measurements at 1m above ground level in excess of 16/18cm.
14. Environmental Health would like to draw the applicant attention to the specifics of the contaminated land conditional wording such as 'prior to commencement', 'prior to occupation' and 'provide a minimum of two weeks notice'.
15. The submission of information not in accordance with the specifics of the planning conditional wording can lead to delays in discharging conditions, potentially result in conditions being unable to be discharged or even enforcement action should the required level of evidence/information be unable to be supplied. All relevant information should be formally submitted to the Local Planning Authority and not direct to Environmental Health.

REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies CS1, CS5, CS10, CS11, CS12, CS14, CS15, CS17, EMP4, DES1, DES8, DES9, TAP1, CCF1, NHE3, INF3 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

19/01623/F - 102 Horley Road, Redhill



Crown Copyright Reserved. Reigate and Banstead Borough Council.
Licence No - 100019405-2018

Scale 1:1,250

Agenda Item 5

DATE	DESCRIPTION	BY

100 WEST 100TH STREET, SUITE 100, DENVER, CO 80231
BPG
 ARCHITECTS & INTERIORS
 PROJECT MANAGEMENT & CONSULTING
 1100 AVENUE OF THE ARCHES, SUITE 1000
 DENVER, CO 80202

PROJECT: 102 HORLEY ROAD, REDHILL

PHASE: ONE OAK DEVELOPMENT

DATE	DESCRIPTION	BY
CN	RM	PLANNING
SCALE: 1:100@A1		

TITLE: PROPOSED ROOF PLAN

PROJECT NO: 4005-BPG-XX-XX-DR-A-1310-PL4
 SHEET NO: 40



ROOF PLAN - PROPOSED
 1:100

SCALE 1:100 @ A1



NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	15/01/2024
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75
76
77
78
79
80
81
82
83
84
85
86
87
88
89
90
91
92
93
94
95
96
97
98
99
100

- DRIVEWAY ACCESS ROUTE AND TURNING MANOEUVRES WITH SPIN POINTS
- SITE BOUNDARY
- ROOT PROTECT ON ZONE
- TREVAGIUS CANOPY AREA



BPG ARCHITECTS
 ARCHITECTURAL, PLANNING AND LANDSCAPE
 PROJECT MANAGEMENT CONSULTANTS
 11, 12 & 13, BARKING MARKET PLACE
 BARKING, ESSEX IG10 3JG
 TEL: 0202 300 0000
 WWW.BPGARCHITECTS.CO.UK



PROJECT: 102 HORLEY ROAD, REDHILL

PLAN: ONE OAK DEVELOPMENT

MP RM PLANNING

SCALE: 1:200@A1

PROPOSED SITE PLAN - 5 UNITS LAYOUT

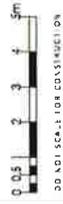
4005-BPG-XX-XX-DR-A-3313-PL14



Agenda Item 5

NO.	DATE	REVISION
1	10/10/2017	ISSUED FOR PERMIT
2	10/10/2017	ISSUED FOR PERMIT
3	10/10/2017	ISSUED FOR PERMIT
4	10/10/2017	ISSUED FOR PERMIT
5	10/10/2017	ISSUED FOR PERMIT
6	10/10/2017	ISSUED FOR PERMIT
7	10/10/2017	ISSUED FOR PERMIT
8	10/10/2017	ISSUED FOR PERMIT
9	10/10/2017	ISSUED FOR PERMIT
10	10/10/2017	ISSUED FOR PERMIT

GROSS INTERNAL AREAS (GIA'S):
 BLOCK A - PLOT 1 - 487P: 117.5 m²
 BLOCK A - PLOT 2 - 487P: 117.5 m²



BPG
 ARCHITECTS
 & SURVEYORS

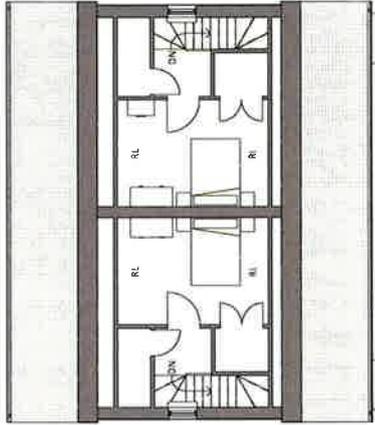
PROJECT INFORMATION: 102 HORLEY ROAD, REDHILL, SURREY, GU20 9JN
 CLIENT: ONE OAK DEVELOPMENT
 DRAWING NO: 4005-BPG-XX-XX-DR-A-1335_P1-4

PROJECT: 102 HORLEY ROAD, REDHILL
 ONE OAK DEVELOPMENT

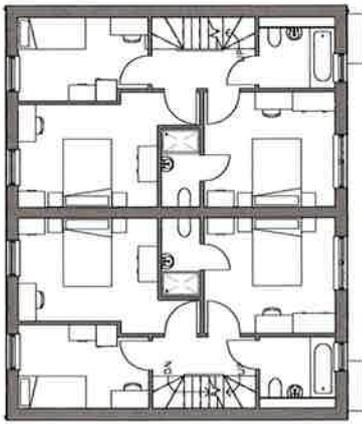
SM RM PLANNING
 1: 100@A2

BLOCK A - PLANS, SECTION & ELEVATIONS

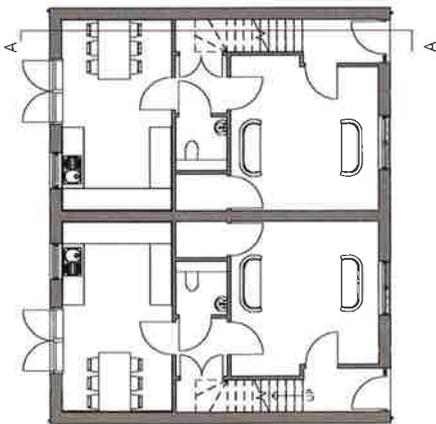
4005-BPG-XX-XX-DR-A-1335_P1-4



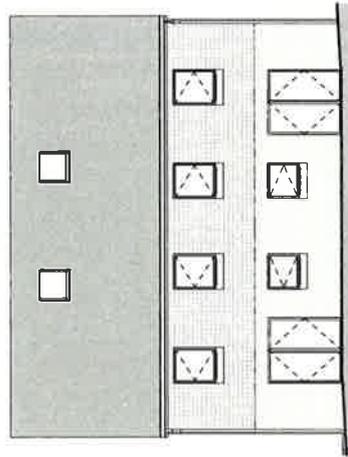
BLOCK A - SECOND FLOOR PLAN



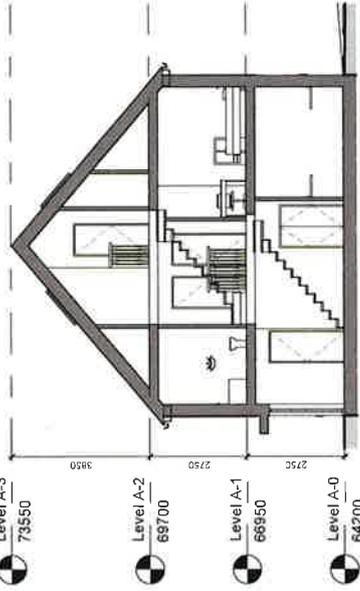
BLOCK A - FIRST FLOOR PLAN



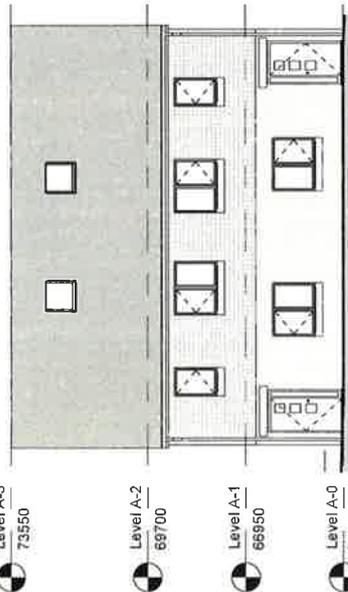
BLOCK A - GROUND FLOOR PLAN



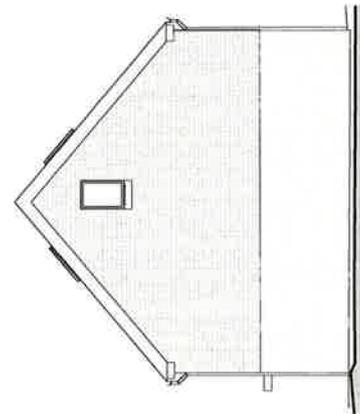
BLOCK A - REAR WEST ELEVATION



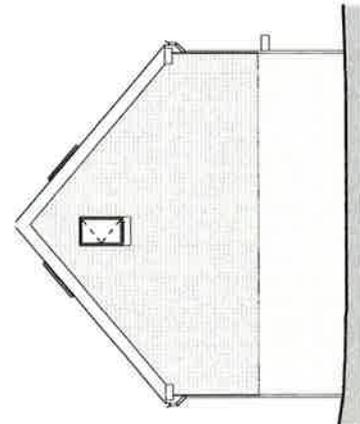
BLOCK A - SECTION



BLOCK B - FRONT EAST ELEVATION



BLOCK A - SIDE NORTH ELEVATION



BLOCK A - SIDE SOUTH ELEVATION

REVISIONS	
NO.	DATE
1	20/01/2024
2	20/01/2024
3	20/01/2024
4	20/01/2024
5	20/01/2024
6	20/01/2024
7	20/01/2024
8	20/01/2024
9	20/01/2024
10	20/01/2024
11	20/01/2024
12	20/01/2024
13	20/01/2024
14	20/01/2024
15	20/01/2024
16	20/01/2024
17	20/01/2024
18	20/01/2024
19	20/01/2024
20	20/01/2024

GROSS INTERNAL AREAS (GIA's):
 BLOCK B - PLOT 3 - 385P: 110 m²
 BLOCK B - PLOT 4 - 385P: 110 m²



BPG
 ARCHITECTS +
 SURVEYORS

100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

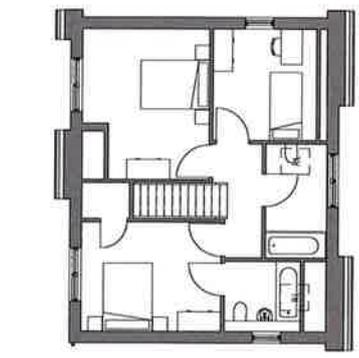
PROJECT NO: 24001
 102 HORLEY ROAD,
 REDHILL
 ONE OAK DEVELOPMENT

SCALE: 1:100@A2

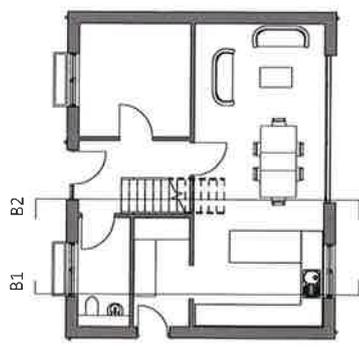
SM RM PLANNING

BLOCK B - PLANS, SECTION & ELEVATIONS

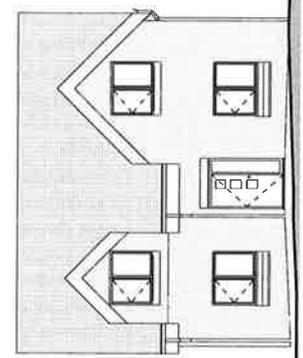
4003-BPG-XX-XX-DR-A-1316-PL8



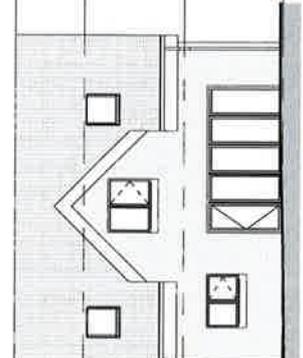
BLOCK B - FIRST FLOOR PLAN



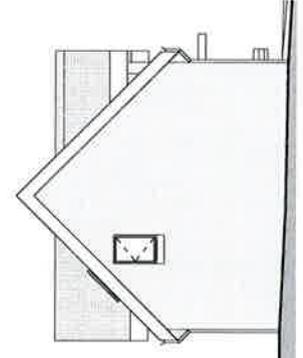
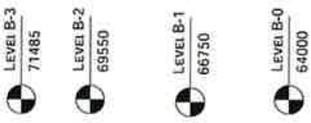
BLOCK B - GROUND FLOOR PLAN



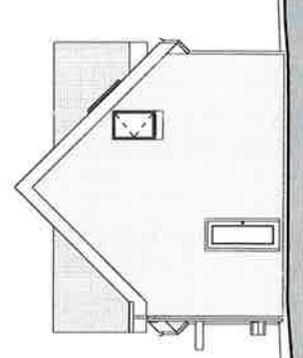
BLOCK B - FRONT ELEVATION



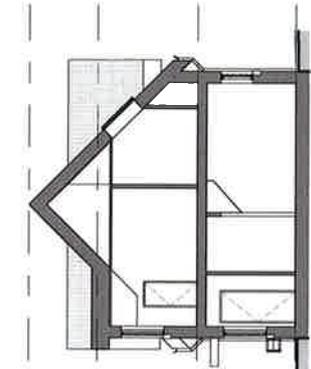
BLOCK B - REAR ELEVATION



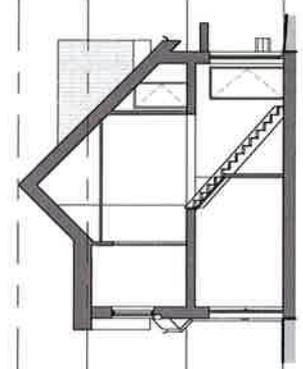
BLOCK B - SIDE EAST ELEVATION
 (FIRST FLOOR WINDOW TO HAVE FROSTED GLAZING)



BLOCK B - SIDE WEST ELEVATION
 (FIRST FLOOR WINDOW TO HAVE FROSTED GLAZING)



BLOCK B - SECTION B1



BLOCK B - SECTION B2

Agenda Item 5

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	12/11/2014
2	ISSUED FOR PERMIT	12/11/2014
3	ISSUED FOR PERMIT	12/11/2014
4	ISSUED FOR PERMIT	12/11/2014
5	ISSUED FOR PERMIT	12/11/2014
6	ISSUED FOR PERMIT	12/11/2014
7	ISSUED FOR PERMIT	12/11/2014
8	ISSUED FOR PERMIT	12/11/2014
9	ISSUED FOR PERMIT	12/11/2014
10	ISSUED FOR PERMIT	12/11/2014

GROSS INTERNAL AREAS (GIA '9):
 BLOCK A - PLOT 4 - 487P: 117.5 m²
 BLOCK A - PLOT 5 - 487P: 117.5 m²



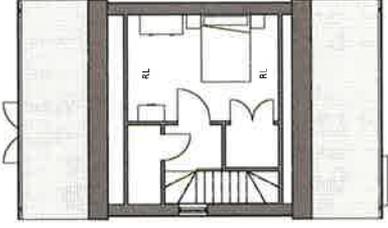
BPG
 ARCHITECT &
 SURVEYORS

REGISTERED ARCHITECT NO. 12567
 REGISTERED SURVEYOR NO. 12567
 100 HORLEY ROAD, REDHILL, SURREY, GU20 1JH

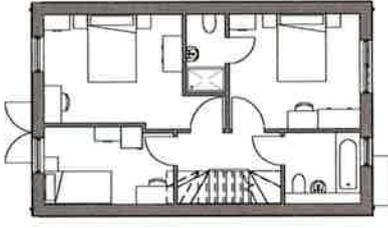
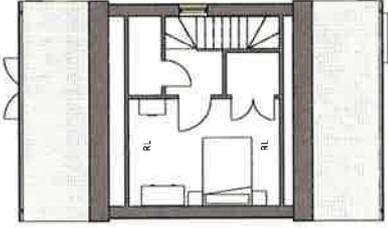
PROJECT:
 102 HORLEY ROAD,
 REDHILL
 ONE OAK DEVELOPMENT

SCALE:
 MP RM PLANNING
 DATE:
 1: 100@A2
 BLOCK C - PLANS, SECTIONS &
 ELEVATIONS

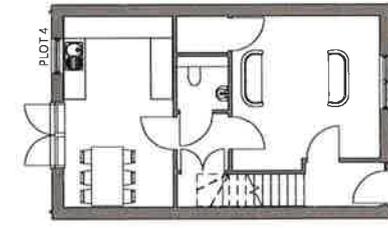
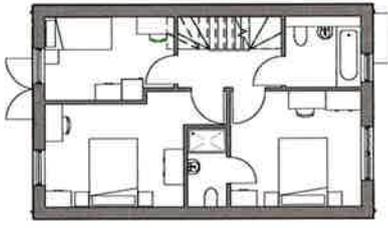
4005-BPG-XX-DRA-1317_PLS



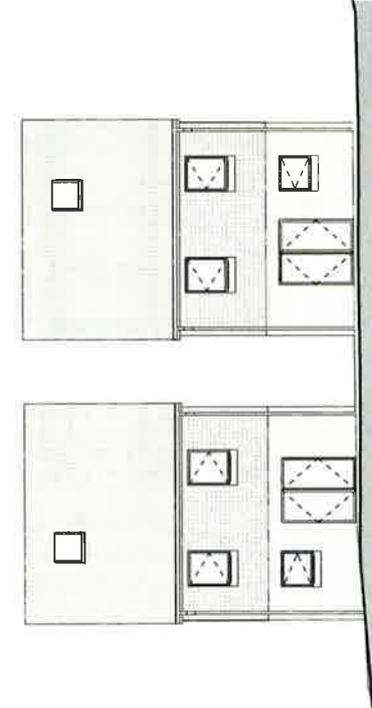
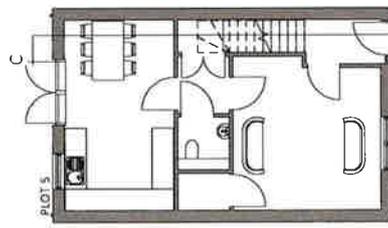
BLOCK C - SECOND FLOOR PLAN



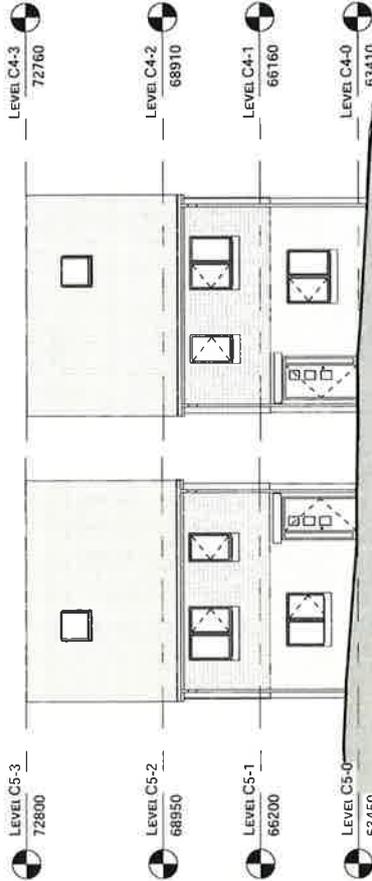
BLOCK C - FIRST FLOOR PLAN



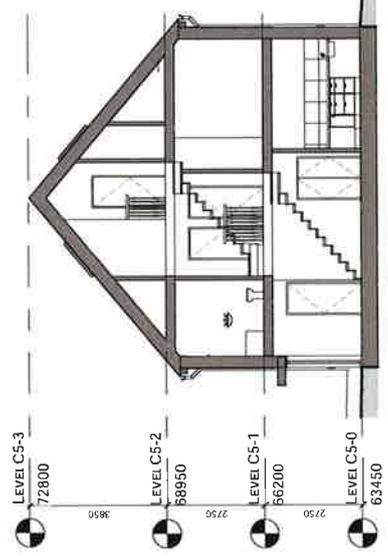
BLOCK C - GROUND FLOOR PLAN



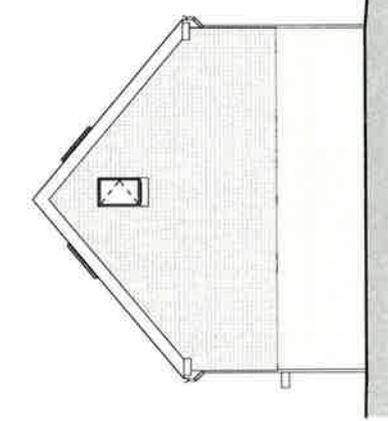
BLOCK C - REAR WEST ELEVATION



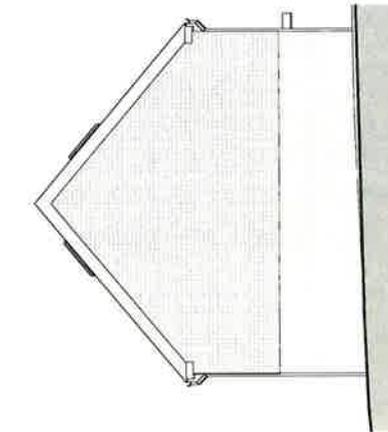
BLOCK C - FRONT EAST ELEVATION



BLOCK C - SECTION C



BLOCK C - SIDE NORTH ELEVATION



BLOCK C - SIDE SOUTH ELEVATION

Agenda Item 6

Agenda Item: 6
20/00737/F

Planning Committee
2nd September 2020

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	2 nd September 2020
	REPORT OF:	HEAD OF PLANNING
	AUTHOR:	James Amos
	TELEPHONE:	01737 276188
	EMAIL:	james.amos@reigate-banstead.gov.uk
AGENDA ITEM:	6	WARD: <i>Redhill East</i>

APPLICATION NUMBER:	20/00737/F	VALID:	08/04/2020
APPLICANT:	ERE Collections Ltd	AGENT:	Clements and Porter Architects
LOCATION:	TESCO EXPRESS, 73, CANALSIDE, REDHILL, SURREY		
DESCRIPTION:	Erection of roof extension to create 4x 1 bedroom flats and 4x 2 bedroom flats. As amended on 27/05/2020, 29/05/2020 and on 11/06/2020.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is referred to Committee in accordance with the Constitution as the application is for net 8 dwellings.

SUMMARY

This is a full application for the erection of two additional floors of residential accommodation to the existing 3 and 4 storey building to accommodate 4 x 1 bed and 4 x 2 bed flats. The fifth storey would extend across the full width of the front portion of the building and would extend the existing parapet wall. The sixth storey would be set back from the main elevations and from the rear elevation in order to provide a communal roof terrace on the northern side of the building, and private terraces for the top floor flats to the side and front elevations. Each flat on the fifth storey would be provided with a balcony similar to those on the lower storeys.

The site comprises a part 3 and part 4 storey building on the northern side of Canalside in the village centre with a retail unit at ground floor level, currently occupied by Tesco, which faces onto the area of hard landscape which forms the pedestrianised square. The building includes a total of 19 self-contained flats over the retail space; of which there are 6 x 1 bedroom flats and 13 x 2 bedroom flats.

The area round the site is characterised by a mixture of 3 and 4 storey residential buildings with 5 storey elements at the focal point of the Water Colour development.

It is considered that the site is capable of accommodating a taller building. The increased massing would help to define the public square and help to focus the

Agenda Item 6

Planning Committee
2nd September 2020

Agenda Item: 6
20/00737/F

square as a destination. The additional height is principally provided at the front of the building but steps down at the rear to mirror that of the existing neighbouring building. It is considered that the proposed development would be of appropriate scale and design and would not be unduly detrimental to the street scene of Canalside and the character of the wider locality.

A Sunlight and Daylight Assessment has been submitted in support of the application which demonstrates that whilst there will be a reduction in daylight and sunlight to some of the windows and balconies in neighbouring properties, all impacts are considered insignificant within the parameters of the BRE Guidance.

The site is located in a location which straddles a low and medium accessible region of Reigate and Banstead. The development site is adjacent to a car park which contains 70 spaces. A parking survey submitted in support of the application shows 60 of those spaces were occupied during the survey which took place on 21 and 22 January 2020. This shows that the car park is likely to have adequate spare capacity to accommodate likely parking demand. There would also be space within the highway to accommodate likely parking demand.

The proposal is considered to accord with adopted development plan policy and it is recommended that planning permission be granted subject to conditions.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

Consultations:

Highway Authority: The County Highway Authority (CHA) has assessed the application on safety, capacity and policy grounds and is satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway with respect of access, net additional traffic generation and parking. The County Highway Authority therefore has no highway requirements subject to conditions

Surrey CC Minerals and Waste – No Comments

Environment Agency – No comments

Representations:

Letters were sent to neighbouring properties on 22nd April 2020, a site notice was posted 28th April 2020. Neighbours were re-notified on revised plans for a 14 day period commencing 2nd June 2020.

45 responses have been received raising the following issues:

Issue	Response
Insufficient parking in the area already and insufficient for this scheme	See paragraph 6.25 – 6.27
No on street parking and the parking to the rear of this scheme is already allocated to other leaseholders	See paragraph 6.25 – 6.27
Parking capacity concerns with parking on double yellow lines etc in the local area	See paragraph 6.25 – 6.27
Other surrounding roads are private property and the highways advice regarding available parking is flawed: the identified spaces not being available for general use.	See paragraph 6.25 – 6.27
Highways safety concerns	See paragraph 6.25 – 6.27
Inconvenience and disturbance during construction	See paragraph 6.22
Over development of the site and area	See paragraph 6.3 – 6.12
Lack of amenity space	See paragraph 6.3 – 6.12
Inadequate refuse storage provision already	See paragraph 6.30
Health fears	See paragraph 6.13 – 6.24

Agenda Item 6

Planning Committee
2nd September 2020

Agenda Item: 6
20/00737/F

Flooding concerns	See paragraph 6.23
Inadequate drainage capacity	See paragraph 6.23
Restrictive covenant	Not a planning Issue
Overshadowing and loss of privacy to surrounding residents	See paragraph 6.13 – 6.24
Loss of sunshine to neighbours balconies and views to those neighbours	See paragraph 6.13 – 6.24
Out of character with surroundings	See paragraph 6.13 – 6.24
Parking spaces should not be taken from the local and busy GP	See paragraph 6.26 – 6.27
Unightly new plant room	See paragraph 6.3 – 6.12
Increase noise	See paragraph 6.13 – 6.24

7 further letters of support have also been received which make the following points.

Benefit to housing need

Benefits community regeneration

Would provide more jobs

There is always adequate parking in the car park to the rear of Tesco

Attractive appearance – a nice focal point – it would be nice to modernise the frontage

1.0 Site and Character Appraisal

- 1.1 The site comprises one of the taller buildings on the Water Colour development, being located on the northern side of Canalside in the village centre and comprising a part 3 and part 4 storey building, with a retail unit at ground floor, currently occupied by Tesco, which faces onto the area of hard landscape which forms the pedestrianised square. The building includes a total of 19 self-contained flats over the retail space; of which there are 6x 1 bedroom flats and 13x 2 bedroom flats. The block is built in facing brickwork, with the central element over of the entrance to the retail finished in render. Stacked balconies are formed over a cover entrance canopy to the front elevation, with stacked balconies also to the rear.
- 1.2 The immediately surrounding area contains a range of residential buildings ranging in height from 3 and 4 storeys on the northern side of Canalside with a 5 storey corner feature on the building immediately to the south west of the application building, to 3 and 4 storeys on the southern side. To the north is a three storey apartment block in Thorntonside.

- 1.3 The site is located in the centre of the Watercolour development which was developed by Linden Homes on a 27ha former sand quarry, as part of a 600 dwelling scheme built between 2005 and 2012. The Gatton Brook; a culverted watercourse runs through the site to two former sand washing lagoons and a flood plain to the south.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: The applicants undertook pre-application consultation with the Council (ref: PAM/19/00510) for a scheme proposing an additional 9 flats within the building. The applicants were advised that the Council had concerns about the scale of the proposal when buildings opposite are only three stories in height and the average surrounding buildings are only 4 storey in height. It was considered that the relationship between this building and those closest would be poor with the scale of the new building appearing overbearing in relation to the closest buildings to this site. It was concluded that if an additional two floors were proposed, that the fifth floor should mirror the design of the existing building whilst the top floor should be set back, in the way that is apparent on a number of nearby residential blocks.
- 2.2 Further advice was given with regards to car parking and the need for parking stress surveys to determine whether any existing parking was available.
- 2.3 Improvements secured during the course of the application: Revised plans have been received to improve the provision of refuse and recycling storage within the building, and further details have been submitted with regards to the impact of the proposed development on sunlight and daylight to adjoining buildings.
- 2.3 Further improvements could be secured through the use of conditions.

3.0 Relevant Planning and Enforcement History

- 3.1 There is extensive planning history associated with the development of the Watercolour housing estate which has been undertaken across a number of phases, the original outline permission being granted in 2001 (01/02552/OUT), with application 04/02411/F subsequently granted in 2005 for the development of 498 dwellings, light industrial units, local shop, veterinary surgery, nursing care home, children's day nursery, medical centre, community hall and associated works.
- 3.2 Under ref: 12/02190/F, amendments to parking arrangements and landscape strategy for the Town Square at the rear of the site were approved.

4.0 Proposal and Design Approach

- 4.1 This is a full application for the erection of two additional floors of residential accommodation to the existing 3 and 4 storey building to accommodate 4 x 1 bed and 4 x 2 bed flats . The fifth storey would extend across the full width of

Agenda Item 6

Planning Committee
2nd September 2020

Agenda Item: 6
20/00737/F

the front portion of the building and would extend the existing parapet wall. The sixth storey would be set back from the main elevations and from the rear elevation in order to provide a communal roof terrace on the northern side of the building, and private terraces for the top floor flats to the side and front elevations. Each flat on the fifth storey would be provided with a balcony similar to those on the lower storeys.

- 4.2 The roof extension would be finished in matching materials at fifth storey level whilst the set-back sixth storey would be finished in zinc cladding, which reflects other set back top floors within the development, with white powder coated doors and windows, white painted stacked balconies and obscured glazed screens privacy between private terraces.
- 4.3 The applicants state that the proposal is for a car-lite development with provision of four allocated car parking spaces; 3 spaces would be to 3 of the 2 bedroom units and 1 car parking space would be allocated to a 1 bedroom unit. The other would be car-free with sustainable transport promoted. A Transport Statement and Travel Statement have been submitted in support of the application.
- 4.4 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.5 Evidence of the applicant’s design approach is set out below:

Assessment	The predominant character is created by the fairly recent adjacent Watercolour development. This development is characterised by a fairly high density mix of apartments, terraced housing and detached housing, utilising a mix of traditional and contemporary materials.
	No site features worthy of retention were identified.
Involvement	No community consultation took place
Evaluation	The applicant’s design and access statement explores in detail the other development options considered during pre-application discussions.
Design	The applicant’s reasons for choosing the proposal from the available options were to address concerns raised in the pre-application enquiry. They state that the increased massing helps to define the public square, creating an arrival point and the squares as a destination. The

	massing rises to the front on the square but steps down at the rear to mirror that of the existing neighbouring building.
--	---

4.5 Further details of the development are as follows:

Site area	0.06 ha
Existing use	Mixed residential and retail.
Proposed use	Mixed residential and retail
Existing parking spaces	The adjoining car park to the north of the site has a total of 70 spaces and a survey identified a spare capacity of 10 spaces (see para 6.27)
Proposed parking spaces	Allocate 4 parking spaces
Parking standard	12 (low accessibility)
Number of affordable units	0
Net increase in dwellings	8

5.0 Policy Context

5.1 Designation

Urban area

5.2 Reigate and Banstead Core Strategy

CS1 (Sustainable Development)
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS14 (Housing Needs)
CS15 (Affordable Housing)
CS17 (Travel Options and accessibility)

5.3 Reigate and Banstead Development Management Plan 2019

DES1 (Design of New development)
DES8 (Construction Management)
DES9 (Pollution and Contaminated Land)
TAP1 (Access, Parking and Servicing)
CCF1 (Climate Change Mitigation)
INF3 (Electronic communication networks)

5.4 Other Material Considerations

Agenda Item 6

Planning Committee
2nd September 2020

Agenda Item: 6
20/00737/F

National Planning Policy Framework

National Planning Practice Guidance

Supplementary Planning Guidance

Surrey Design

Local Distinctiveness Design Guide

Vehicle and Cycle Parking

Guidance 2018

Other

Human Rights Act 1998

Community Infrastructure Levy

Regulations 2010

6.0 Assessment

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms.

6.2 The main issues to consider are:

- Design appraisal
- Neighbour amenity
- Highway matters
- Refuse storage
- Affordable Housing
- Community Infrastructure Levy

Design appraisal

6.3 DMP Policy DES1 relates to the Design of New Development and requires new development to be of a high quality design that makes a positive contribution to the character and appearance of its surroundings. New development should promote and reinforce local distinctiveness and should respect the character of the surrounding area. The policy states that new development will be expected to use high quality materials, landscaping and building detailing and have due regard to the layout, density, plot sizes, building siting, scale, massing, height, and roofscapes of the surrounding area, the relationship to neighbouring buildings, and important views into and out of the site.

6.4 The area round the site is characterised by a mixture of 3 and 4 storey residential buildings with 5 storey elements at the focal point of the Water Colour development. The existing building is 4 storeys in height at the front with a tall parapet wall (1.5m above roof level) around the flat roof and 3 storeys at the rear.

6.5 Planning permission is sought to raise the fifth storey across the full width of the front portion of the building with the sixth floor set in from the elevations to the front on both sides and set back from the rear elevation. The existing main entrance stair and lift will be extended to serve the new dwellings.

- 6.6 It is considered that the increased massing would help to define the public square and help to focus the square as a destination. The additional height is principally provided at the front of the building but steps down at the rear to mirror that of the existing neighbouring building. Setting back the top floor extension from the front provides private terraces to each top floor flats. Setting back from the rear creates a new and additional communal terrace for the new dwellings and mitigates the impact of the extension on the existing rear communal terraces.
- 6.7 The visual impact of the proposed roof extension is reduced by the set back of the top floor. In short views the setback top floor would not be visible, whilst in longer views, the taller building would be set in the surrounding context of 4 and 5 storey blocks on the northern side of Canalside. The long street elevation of Canalside, illustrates that there as an increase in massing from the east and west of the development towards to square. The proposed higher parapet around the new fifth storey would align with the roof of the neighbouring 5 storey element of the neighbouring block of flats, with the proposed sixth storey set back from this. This would reinforce the approach that this site can sustain a taller development than the current building. The proposed increased massing also reflects the significance of this building facing the public square.
- 6.8 The proposal envisages the use of materials to match the existing building with brick and render to extend the fifth storey up to the new parapet level, with zinc cladding proposed for the to the set back sixth storey. These materials would be reflective of the character of the host building and the surrounding area and would be acceptable in this context.
- 6.9 DMP Policy DES4 relates to Housing Mix and requires new development proposals that propose up to 20 homes, at least 20% of market housing should be provided as smaller (one and two bedroom) homes. In this case, the proposal is for 4 x 1 bedroom and 4 x 2 bedroom flats which accords with the requirements of the policy.
- 6.10 DMP Policy DES5 relates to the delivery of high quality homes and requires, *inter alia*, that as a minimum, all new residential development (including conversions) must meet the relevant nationally described space standard for each individual units except where the Council accepts that an exception to this should be made in order to provide an innovative type of affordable housing that does not meet these standards. In addition, the policy also requires all new development to be arranged to ensure primary habitable rooms have an acceptable outlook, where possible receive direct sunlight and have access to amenity space.
- 6.11 The proposed dwellings in terms of their layout, size, accessibility and access to facilities are considered acceptable. The proposed dwellings would have an acceptable amount of floor space which would accord with the Nationally Describe Space Standards and each of the new flats would have access to both private amenity space in the form of balconies and to the communal roof

Agenda Item 6

Planning Committee
2nd September 2020

Agenda Item: 6
20/00737/F

terrace. When judged from a living standard perspective the proposal is considered acceptable.

- 6.12 Overall, it is considered that the proposed development would be of appropriate scale and design and would not be unduly detrimental to the street scene of Canalside and the character of the wider locality. It therefore complies with policy DES1 in this respect.

Neighbour amenity

- 6.13 In addition to the comments noted above DMP Policy DES1 also requires new development to provide an appropriate environment for future occupants whilst not adversely impacting upon the amenity of occupants of existing nearby buildings, including by way of overbearing, obtrusiveness, overshadowing, overlooking and loss of privacy.
- 6.14 The nearest residential properties to the site are located to the south-west, in the neighbouring 4 and 5 storey apartment block on Canalside and to the north in the neighbouring three storey apartment block on Thorntonside.
- 6.15 The increase in the height of the building is focused at the front of the building facing the pedestrian square. In this location, the additional height to parapet level would match the top of the 5 storey element on the neighbouring building to the south west. The top floor flat at the rear of the neighbouring building has windows in the side and rear elevations and a balcony at the rear.
- 6.16 In support of the proposals, the applicants have submitted a Sunlight and Daylight Assessment. The report summarises the calculations that were conducted in accordance with the BRE Report in order to determine the extent to which the proposed roof extension at 73 Canalside will affect the levels of daylight and sunlight at adjacent properties. The results of the assessment demonstrate that whilst there will be a reduction in daylight and sunlight to some of the windows and balconies, all impacts are considered insignificant within the parameters of the BRE Guidance.
- 6.17 With regards to daylight, the report identifies those windows which may be affected by the proposed development and states that the results show that at all affected windows, whilst there is a small reduction in daylight to some of the windows, the proposed level of daylight will either exceed 27% VSC (Vertical Sky Component), or where it does not exceed 27% VSC, the proposed level of daylight would be greater than 0.8 times the existing. Therefore, the reduction in daylight is unlikely to be noticeable and therefore the impact of the proposed development on levels of daylight is considered to be “negligible”.
- 6.18 With regards to levels of sunlight the report states that although the windows will experience a reduction in the amount of sunlight that they receive, the reduction is small such that it is not considered to be significant according to the BRE guidance, even with the construction of the proposed development.

The report notes that there would be an exception is to windows 22 and 25 (in the flank wall of 1-47 Thorntonside), which do not fully meet the BRE guidance; however, both windows 22 and 25 are secondary windows to the rooms served by windows 23 and 26 respectively, which both fully comply with the BRE guidance. It is stated that as a consequence, both rooms will continue to receive good levels of direct sunlight, both across the whole year and during the winter months. Consequently, whilst there will be a measurable reduction in sunlight to some windows, any impact on sunlight at any of the windows with the development in place will be considered “negligible”.

- 6.19 With regards to overshadowing impacts, the results of the assessment show that the proposed development will cause some lengthening of shadows to the north, primarily over the car park to the rear of the property, as well as over 1-47 Thornton Side; however, the results of the analysis shows that the proposed development will not cause any additional shading to the balconies – all will continue to receive two hours or more of direct sunlight on the 21st of March - and therefore any impact upon this amenity space is considered to be insignificant.
- 6.20 The existing building also features a number of windows and balconies on the side elevation facing 1-71, Canalside which are directed towards the neighbouring building. As a result, the additional windows and balcony, as well as the proposed roof terrace at sixth storey would not add significantly to the potential for overlooking or a loss of privacy to neighbouring properties. To the north, the impact of the proposed roof extensions is mitigated by the position of the additional flats at the front of the existing building away from Thorntonside.
- 6.21 The existing building sits in advance of the side elevation of Thorntonside and as a result the additional windows and the proposed communal roof terrace would not directly overlook windows in neighbouring properties. The impact of the roof terraces would be further mitigated by obscure glazed screens and planting on the periphery of the communal terrace.
- 6.22 Representations have been received regarding noise and disturbance and inconvenience during the construction period. Whilst there may be a degree of inconvenience and disturbance during the construction phase, the proposal would not warrant refusal on this basis and statutory nuisance legislation exists to control any significant levels of disturbance. A condition requiring the submission and approval of a construction transport management plan would be included on any grant of permission.
- 6.23 Concern has been raised from neighbouring properties regarding fear of crime, flooding and drainage/sewage. The proposal would result in the addition of flats to an existing building and would not have an adverse impact on flooding on the site.
- 6.24 Overall, whilst giving rise to a degree of change in the relationship between buildings, the proposed development would not adversely affect the amenities

Agenda Item 6

Planning Committee
2nd September 2020

Agenda Item: 6
20/00737/F

of neighbouring properties, and therefore complies with DMP Policy DES1 in this respect

Highway matters

- 6.25 The application plans include the provision of 4 parking spaces to be allocated to three of the 2 bed flats and 1 of the 1 bed flats. The remaining four flats would not be provided with any parking. The 4 parking spaces are located within the adjoining car park to the north of the site.
- 6.26 The proposed development has been reviewed by the County Highway Authority who raise no objections subject to the imposition of conditions relating to the allocation of parking spaces, the provision of storage for 11 bicycles, the provision of a Construction Transport Management Plan and the provision of a Travel Statement for the permitted flat units.
- 6.27 The CHA note that the site is located in a location which straddles a low and medium accessible region of Reigate and Banstead. The proposed development would include three two bed units and five one bed units on top of 19 units comprising six one bed and 13 two bed units. In total the entire development comprising 27 units should make provision for 33 car parking spaces. The proposed development, in itself, would require 10 spaces. The development is next to a car park with 70 spaces. A parking survey submitted in support of the application shows 60 of those spaces were occupied during the survey which took place on 21 and 22 January 2020. This shows that the car park is likely to have adequate spare capacity to accommodate likely parking demand. There would also be space within the highway to accommodate likely parking demand.
- 6.28 The CHA also recommends that the submitted travel statement is amended to include the addresses of the businesses included in paragraph 3.5.7 of the travel statement and to show these on a map along with the location of the car club vehicles stated in paragraph 3.9.3. A condition is recommended to this effect.

Affordable Housing

- 6.29 Core Strategy Policy CS15 and the Council's Affordable Housing SPD require financial contributions towards affordable housing to be provided on housing developments of 1-9 units. However, in November 2014, the Government introduced policy changes through a Written Ministerial Statement and changes to the national Planning Practice Guidance which restrict the use of planning obligations to secure affordable housing contributions from developments of 10 units or less. These changes were given legal effect following the Court of Appeal judgement in May 2016.
- 6.30 In view of this, and subsequent local appeal decisions which have afforded greater weight to the Written Ministerial Statement than the Council's adopted policy, the Council is not presently requiring financial contributions from applications such as this resulting in a net gain of 10 units or less.

Refuse and Recycling

- 6.31 The existing refuse and recycling arrangements for the residential dwellings are located within the building at ground floor level, adjacent to the residential entrance. The Council's Neighbourhood Services team have confirmed that the refuse and recycling requirements for the development would be 3x 1100L bins and 1x 660L bins for refuse for 27 flats (the total number of flats in the building, including those proposed). In terms of recycling 8x 360L bins are required for 27 flats. The applicants have submitted revised plans which show the required provision and note that it is proposed to replace the existing bins with those required/ outlined above to meet the necessary requirements. This would also avoid the need for any additional structures outside of the existing building.

Community Infrastructure Levy (CIL)

- 6.32 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, road, public transport and community facilities which are needed to support new development. This development would be CIL liable and, although the exact amount would be determined and collected after the grant of planning permission.

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

Drawing title	Drawing number	Revision	Received on
Location Plan	994-000		09/04/2020
Existing floor plan	994-101	A	09/04/2020
Existing floor plan	994-102	A	09/04/2020
Existing floor plan	994-103	A	09/04/2020
Existing roof plan	994-104	A	09/04/2020
Existing elevations	994-111	A	09/04/2020
Existing elevations	994-112	A	09/04/2020
Existing elevations	994-113	A	09/04/2020
Existing elevations	994-114		09/04/2020
Proposed floor plan	994-201		29/05/2020
Proposed floor plan	994-202	A	09/04/2020

Agenda Item 6

Planning Committee
2nd September 2020

Agenda Item: 6
20/00737/F

Proposed floor plan	994-203	A	09/04/2020
Proposed floor plan	994-204	A	09/04/2020
Proposed floor plan	994-205	A	09/04/2020
Proposed roof plan	994-206	A	09/04/2020
Proposed elevations	994-211	A	09/04/2020
Proposed elevations	994-212	A	09/04/2020
Proposed elevations	994-213	A	09/04/2020
Proposed elevations	994-214		09/04/2020
Proposed refuse and recycling store	994-401		29/05/2020
Proposed parking plan	994-200		18/08/2020

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

3. The development hereby permitted shall only be completed in accordance with the details of the materials set out in the application.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

4. The development hereby approved shall not be first occupied unless and until one car parking space has been allocated to each of the two bed units and one space has been allocated to one of the one bed units in accordance with a scheme to be submitted to and approved in writing with the local planning authority. Thereafter the parking area shall be retained and maintained for its designated purpose.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

5. The development hereby approved shall not be occupied until space to store a minimum of 11 bicycles in a secure, covered and accessible location has been constructed in accordance with a scheme to be submitted to and approved in writing with the Local Planning Authority and Reigate and Banstead Core Strategy 2014.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 Parking, access, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019 and Reigate and Banstead Core Strategy 2014 Policy CS17 (Travel Options and Accessibility).

6. No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) measures to prevent the deposit of materials on the highway

has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policies DES1 and TAP1 Parking, and Servicing of the Reigate and Banstead Local Plan Development Management Plan September 2019.

7. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will:
- a) Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day
 - b) Achieve not less than a 19% improvement in the Dwelling Emission Rate (DER) over the Target Emission Rate (TER) as defined in Part L1A of the 2013 Building Regulations

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason: To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

8. All dwellings within the development hereby approved shall be provided with the necessary infrastructure to facilitate connection to a high speed broadband. Unless otherwise agreed in writing with the Local Planning Authority, this shall include as a minimum:
- a) A broadband connection accessed directly from the nearest exchange or cabinet
 - b) Cabling and associated installations which enable easy access for future repair, replacement or upgrading.

Reason: To ensure that the development promotes access to, and the expansion of, a high quality electronic communications network in accordance with Policy INF3 of the Reigate & Banstead Development Management Plan 2019.

Agenda Item 6

Planning Committee
2nd September 2020

Agenda Item: 6
20/00737/F

9. Notwithstanding the submitted travel statement the proposed development shall not be occupied until each of the proposed units has been provided with a revised travel statement to be submitted to an approved in writing with the Local Planning Authority.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
3. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

4. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and

programme; (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.

5. The applicant is advised that the Borough Council is the street naming and numbering authority and you will need to apply for addresses. This can be done by contacting the Address and Gazetteer Officer prior to construction commencing. You will need to complete the relevant application form and upload supporting documents such as site and floor layout plans in order that official street naming and numbering can be allocated as appropriate. If no application is received the Council has the authority to allocate an address. This also applies to replacement dwellings. If you are building a scheme of more than 5 units please also supply a CAD file (back saved to 2010) of the development based on OS Grid References. Full details of how to apply for addresses can be found http://www.reigatebanstead.gov.uk/info/20277/street_naming_and_numbering
6. Notwithstanding any permission granted under the Planning Acts, no signs, devices or other apparatus may be erected within the limits of the highway without the express approval of the Highway Authority. It is not the policy of the Highway Authority to approve the erection of signs or other devices of a non-statutory nature within the limits of the highway.
7. The permission hereby granted shall not be construed as authority to carry out any works on the highway or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a permit must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see <http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme>. The applicant is also advised that Consent may be required under Section 23 of the Land Drainage Act 1991. Please see www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/floodingadvice.
8. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing

Agenda Item 6

Planning Committee
2nd September 2020

Agenda Item: 6
20/00737/F

highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).

9. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.

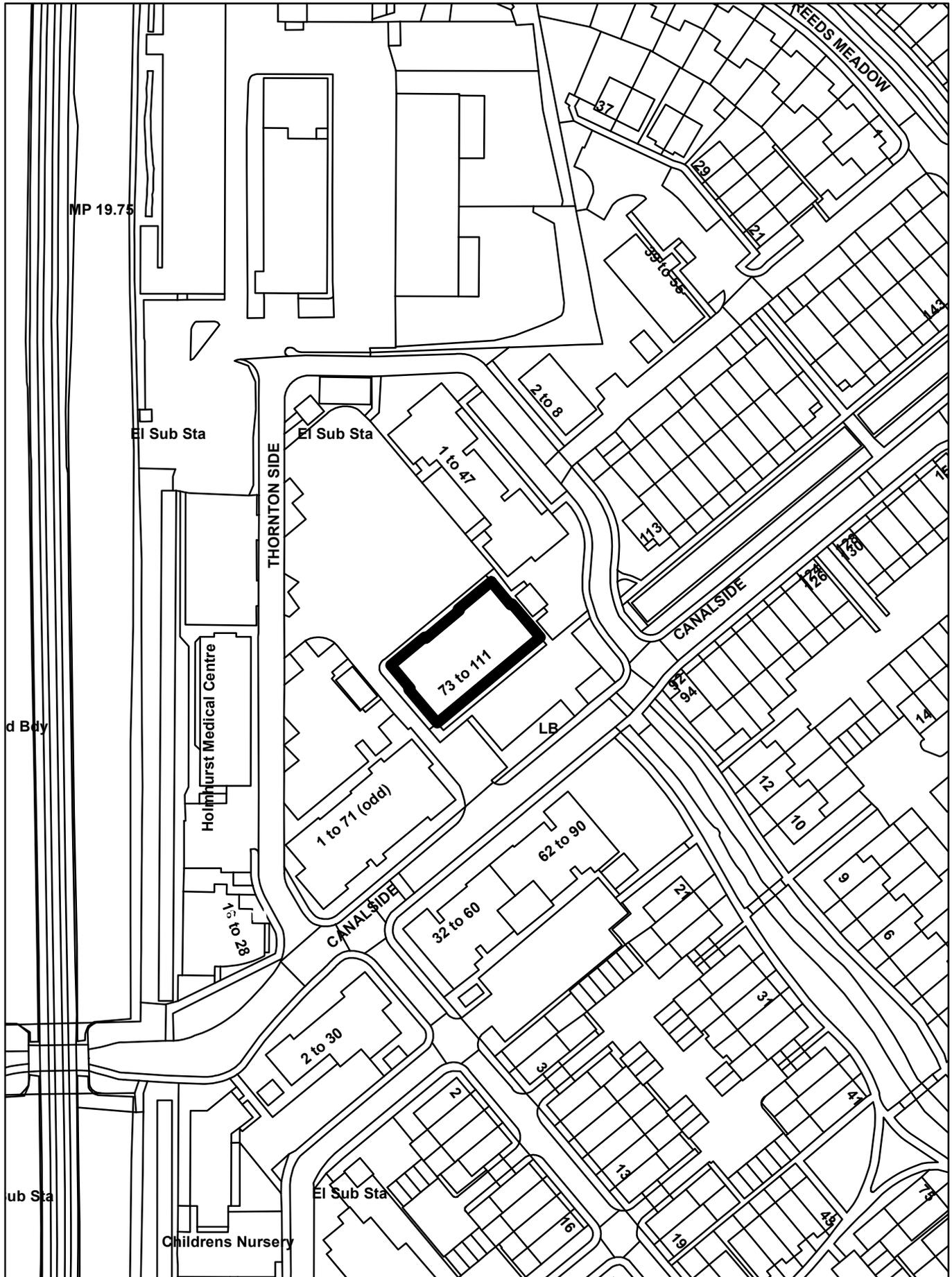
10. The submitted travel statement shall be amended to include the addresses of the businesses included in paragraph 3.5.7 of the travel statement and to show these on a map along with the location of the car club vehicles stated in paragraph 3.9.3.

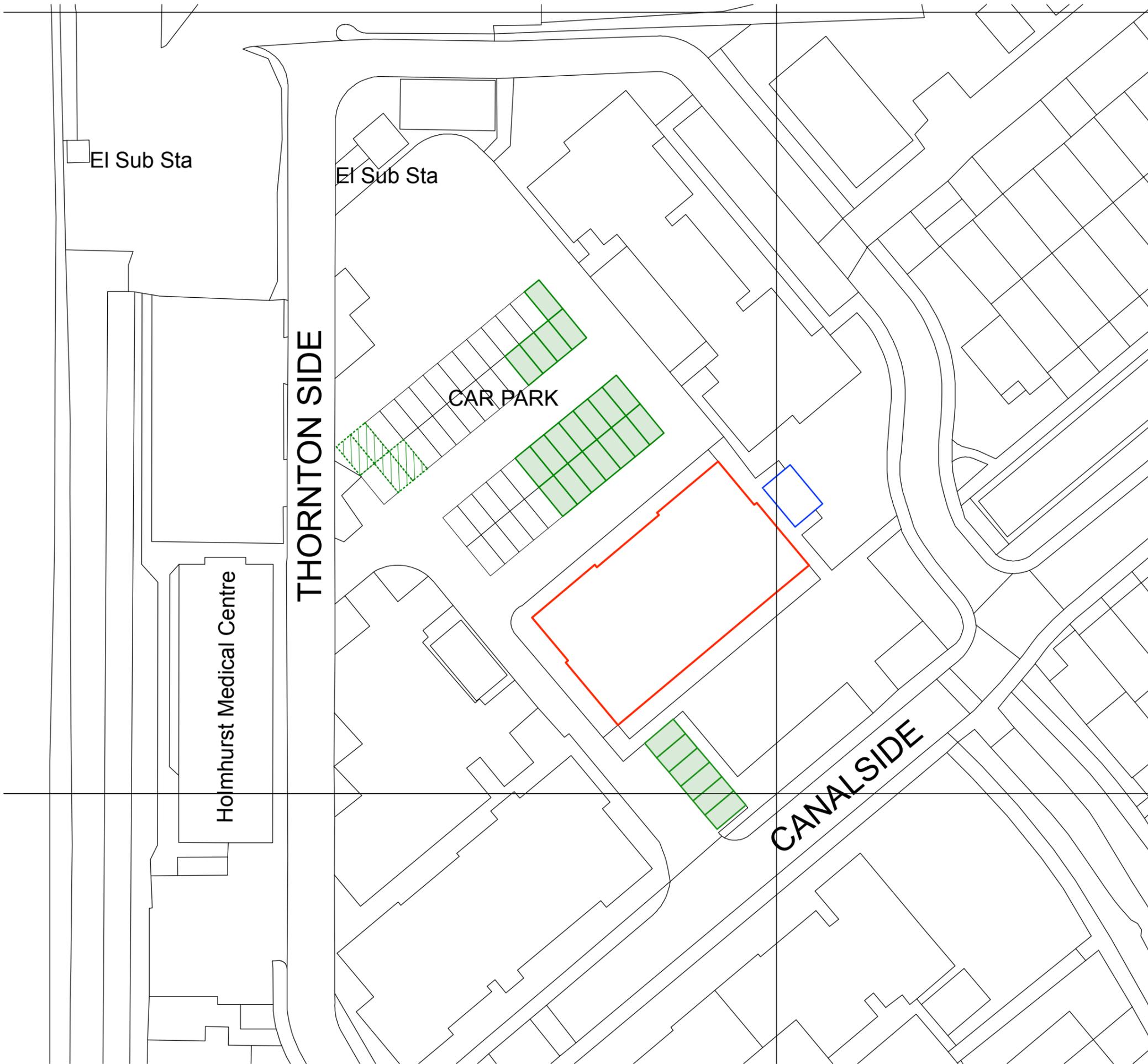
REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies CS1, CS10, CS11, CS14, CS15, CS17, DES1, DES8, DES9, TAP1, CCF1, INF3 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

Proactive and Positive Statements

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.





- Notes**
- Line denotes site boundary
 - Line denotes site ancillary spaces
 - Denotes existing allocated car parking spaces to 73 Canalside.
 - Denotes 4x unallocated car parking bays for allocation to new flats. Please see Transport Statement for further information.

PLANNING APPLICATION

Revision	Date	Description

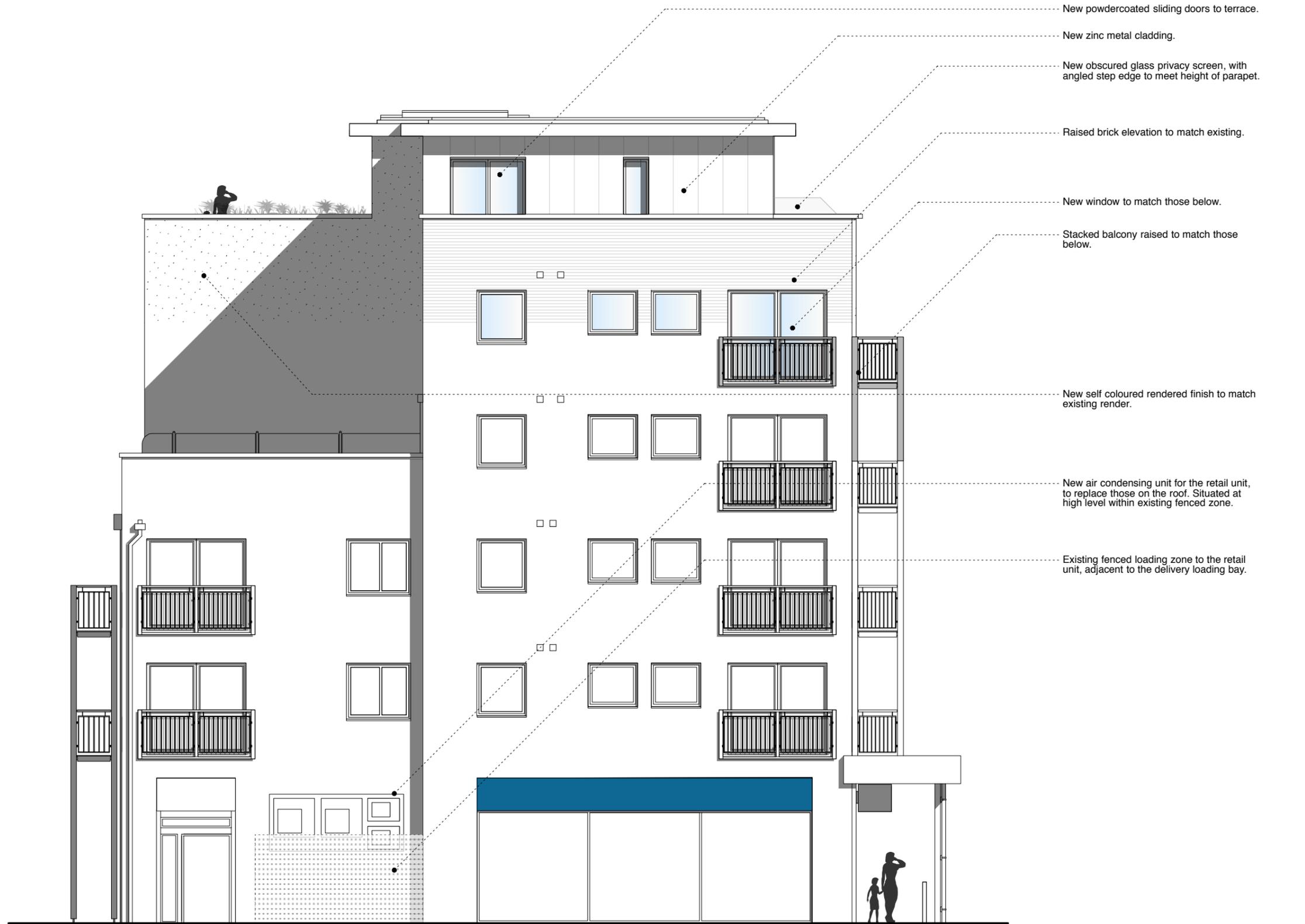
CLEMENTS & PORTER

ARCHITECTS

A: 63 Rivington Street, London, EC2A 3QQ T: 020 7739 5799
 E: info@clementsporter.co.uk W: www.clementsporter.co.uk

Project	73 Canalside, Homethrope Surrey, RH1 2NH
Title	Location Site Plan
Scale	1:500@A3
Date.	18/08/2020
Drawn By	AM
Drawing No.	994.200

Do not scale from this drawing This drawing is copyright



Notes

PLANNING APPLICATION

Revision	Date	Description

CLEMENTS & PORTER
ARCHITECTS

A: 63 Rivington Street, London, EC2A 3QQ T: 020 7739 5798
E: info@clementsporter.co.uk W: www.clementsporter.co.uk

Project	73 Canalside, Homethrop, Surrey, RH1 2NH
Title	West Elevation Proposed
Scale	1:100@A3
Date	03/04/2020
Drawn By	AM
Drawing No.	944.214

Do not scale from this drawing This drawing is copyright



Agenda Item 6



Notes

PLANNING APPLICATION

Revision	Date	Description
A	26.03.20	General Revision for Planning

CLEMENTS & PORTER
ARCHITECTS

A: 63 Rivington Street, London, EC2A 3QQ T: 020 7739 5799
E: info@clementsporter.co.uk W: www.clementsporter.co.uk

Project	73 Canalside, Homethrope Surrey, RH1 2NH
Title	East Elevation Proposed
Scale	1:100@A3
Date	29.10.19
Drawn By	AM
Drawing No.	994.213A

Do not scale from this drawing This drawing is copyright



67



New air condensing unit for the retail unit, to replace those on the roof. Situated at high level within existing fenced zone.

Notes

PLANNING APPLICATION

Revision	Date	Description
A	26.03.20	General Revision for Planning

CLEMENTS & PORTER
ARCHITECTS

A: 63 Rivington Street, London, EC2A 3QQ T: 020 7739 5795
E: info@clementsporter.co.uk W: www.clementsporter.co.uk

Project	73 Canalside, Homethrope, Surrey, RH1 2NH
Title	Rear Elevation Proposed
Scale	1:100@A3
Date	29.10.19
Drawn By	AM
Drawing No.	994.212A

Do not scale from this drawing This drawing is copyright

Agenda Item 6



Notes

PLANNING APPLICATION

Revision	Date	Description
A	26.03.20	General Revision for Planning

CLEMENTS & PORTER
ARCHITECTS

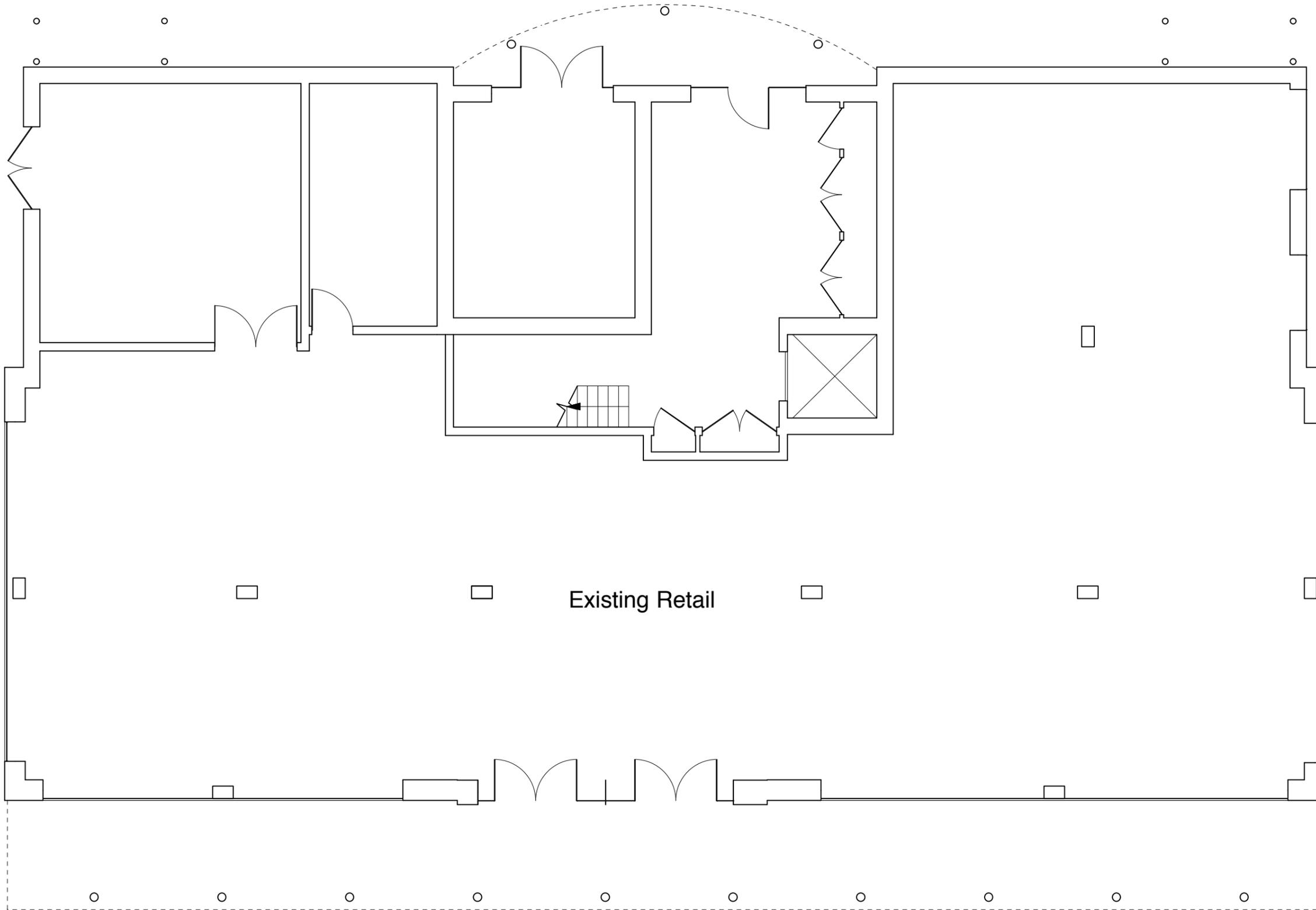
A: 63 Rivington Street, London, EC2A 3QQ T: 020 7739 5799
E: info@clementsporter.co.uk W: www.clementsporter.co.uk

Project	73 Canalside, Homethrope Surrey, RH1 2NH
Title	Front Elevation Proposed
Scale	1:100@A3
Date	29.10.19
Drawn By	AM
Drawing No.	994.211A

Do not scale from this drawing This drawing is copyright



69



Notes

 Hatch denotes area of demolition

PLANNING APPLICATION

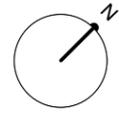
Revision	Date	Description
A	03.04.20	General Revision for Planning

CLEMENTS & PORTER
ARCHITECTS

A: 63 Rivington Street, London, EC2A 3QQ T: 020 7739 5798
E: info@clementsporter.co.uk W: www.clementsporter.co.uk

Project	73 Canalside, Homethrop, Surrey, RH1 2NH
Title	Ground Floor Plan Existing
Scale	1:100@A3
Date	29.10.19
Drawn By	AM
Drawing No.	994.101A

Do not scale from this drawing This drawing is copyright



Agenda Item 6



Notes

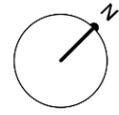
Revision	Date	Description

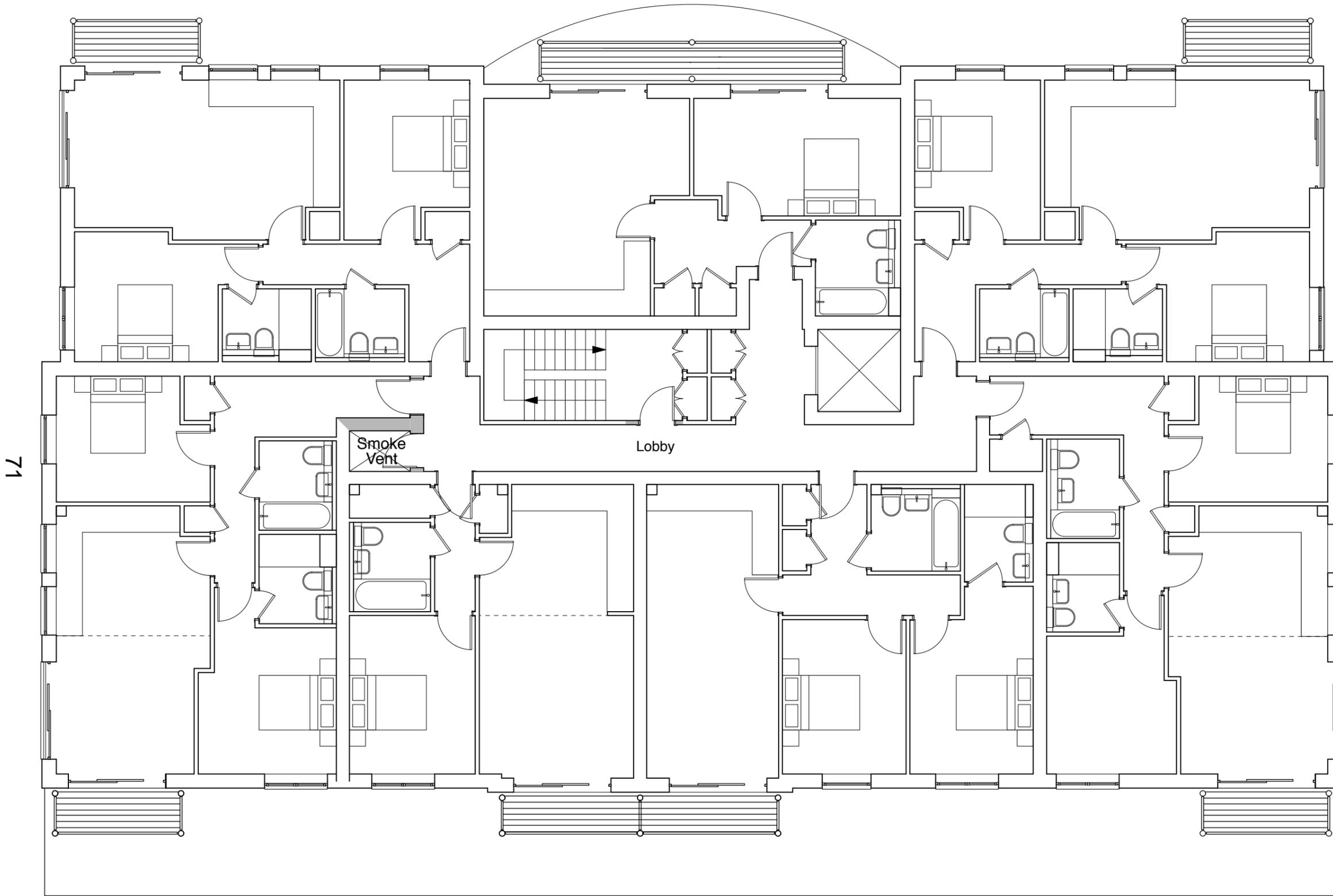
CLEMENTS & PORTER
ARCHITECTS

A: 63 Rivington Street, London, EC2A 3QQ T: 020 7739 5799
E: info@clementsporter.co.uk W: www.clementsporter.co.uk

Project	73 Canalside, Homethrope Surrey, RH1 2NH
Title	Ground Floor Plan Proposed
Scale	1:100@A3
Date	28/05/2020
Drawn By	AM
Drawing No.	994.201

Do not scale from this drawing This drawing is copyright





71

Notes

PLANNING APPLICATION

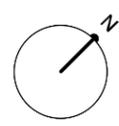
Revision	Date	Description
A	03.04.20	General Revision for Planning

CLEMENTS & PORTER
ARCHITECTS

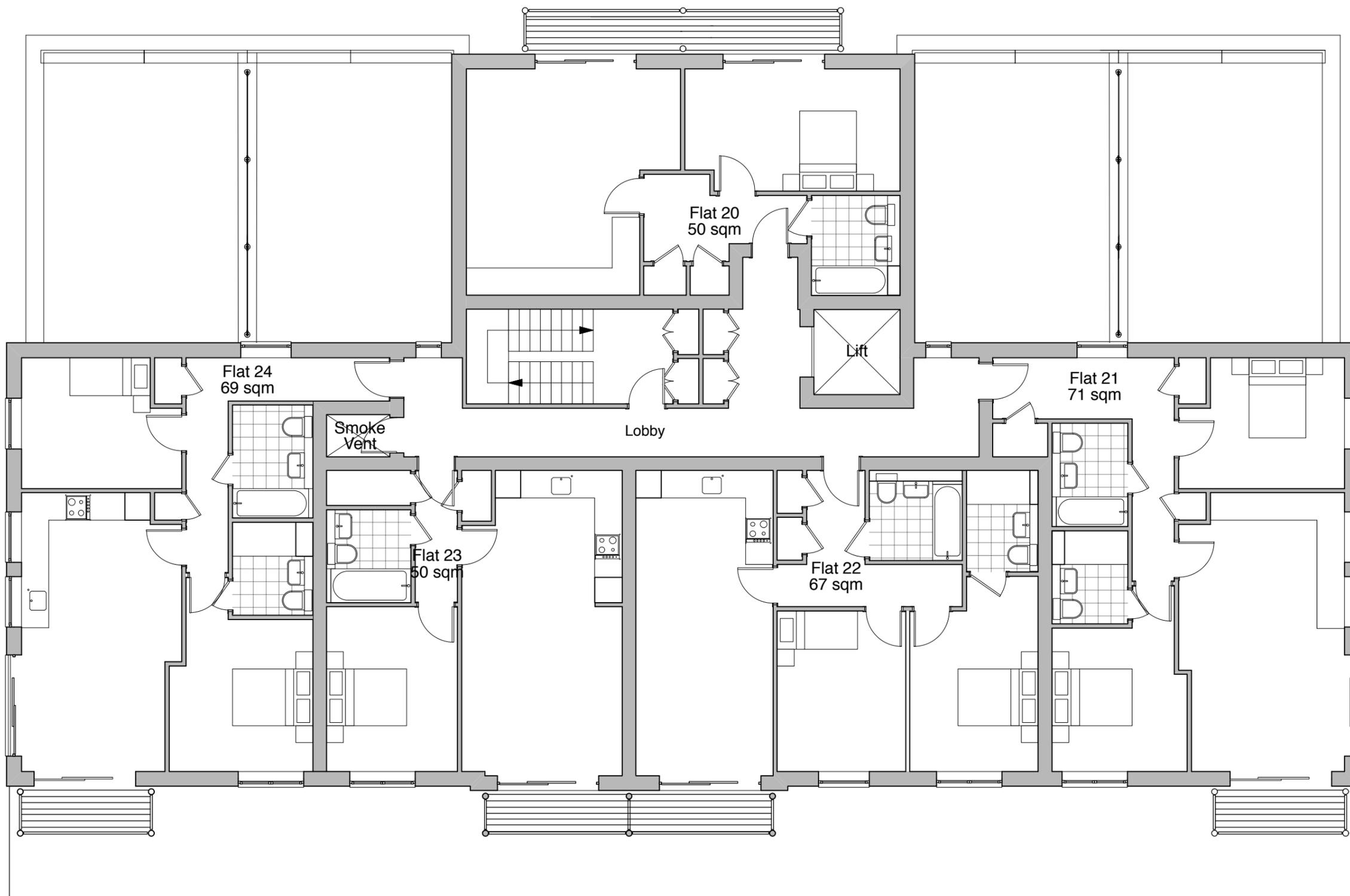
A: 63 Rivington Street, London, EC2A 3QQ T: 020 7739 5796
E: info@clementsporter.co.uk W: www.clementsporter.co.uk

Project	73 Canalside, Homethrop, Surrey, RH1 2NH
Title	Typical Upper Floor Plan Proposed
Scale	1:100@A3
Date	29.10.19
Drawn By	AM
Drawing No.	994.202A

Do not scale from this drawing This drawing is copyright



Agenda Item 6



Notes

PLANNING APPLICATION

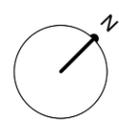
Revision	Date	Description
A	03.04.20	General Revision for Planning



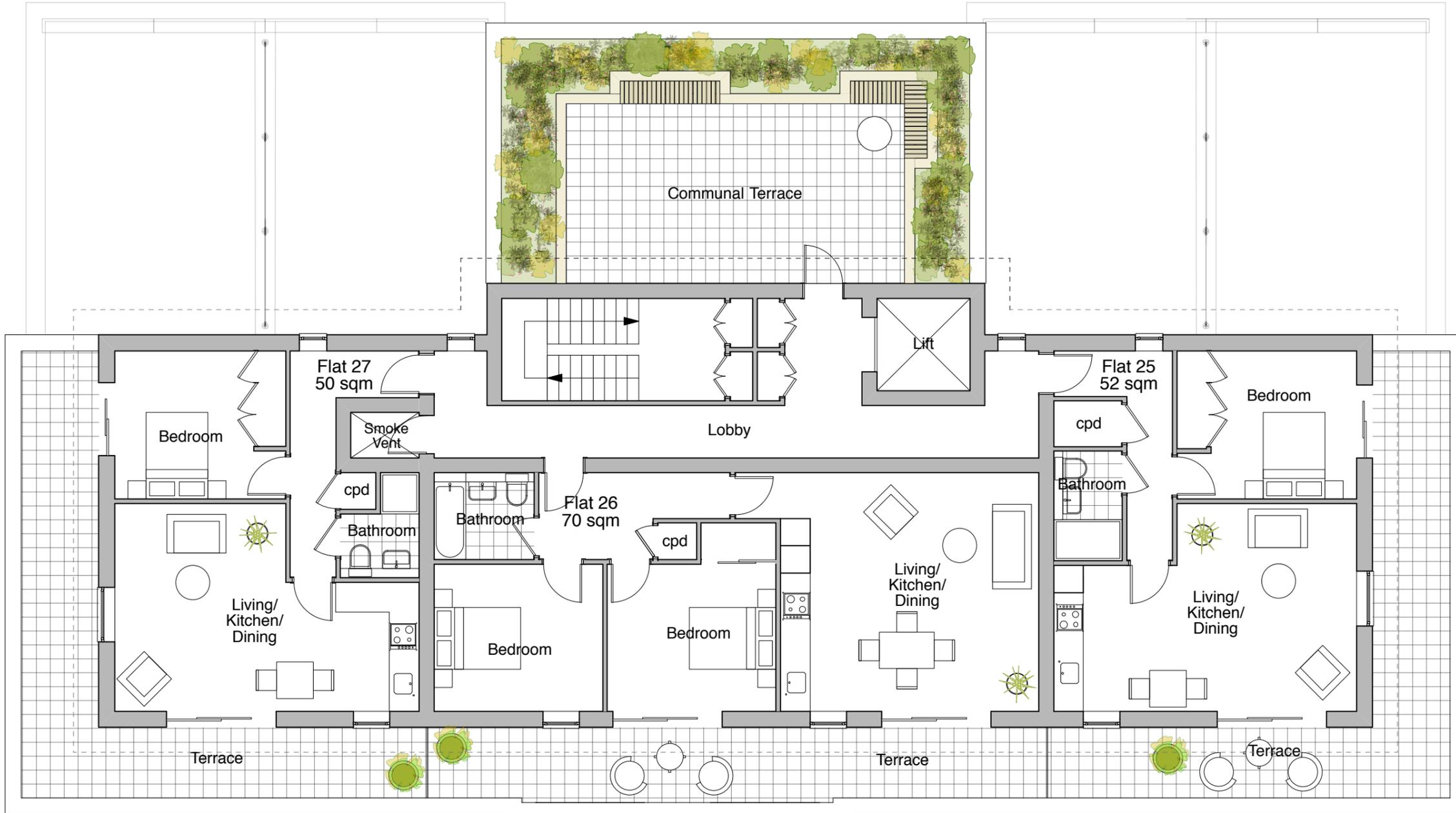
A: 63 Rivington Street, London, EC2A 3QQ T: 020 7739 5799
 E: info@clementsporter.co.uk W: www.clementsporter.co.uk

Project	73 Canalside, Homethrope Surrey, RH1 2NH
Title	Fourth Floor Plan Proposed
Scale	1:100@A3
Date	29.10.19
Drawn By	AM
Drawing No.	994.204A

Do not scale from this drawing This drawing is copyright



73



Notes

PLANNING APPLICATION

Revision	Date	Description
A	03.04.20	General Revision for Planning

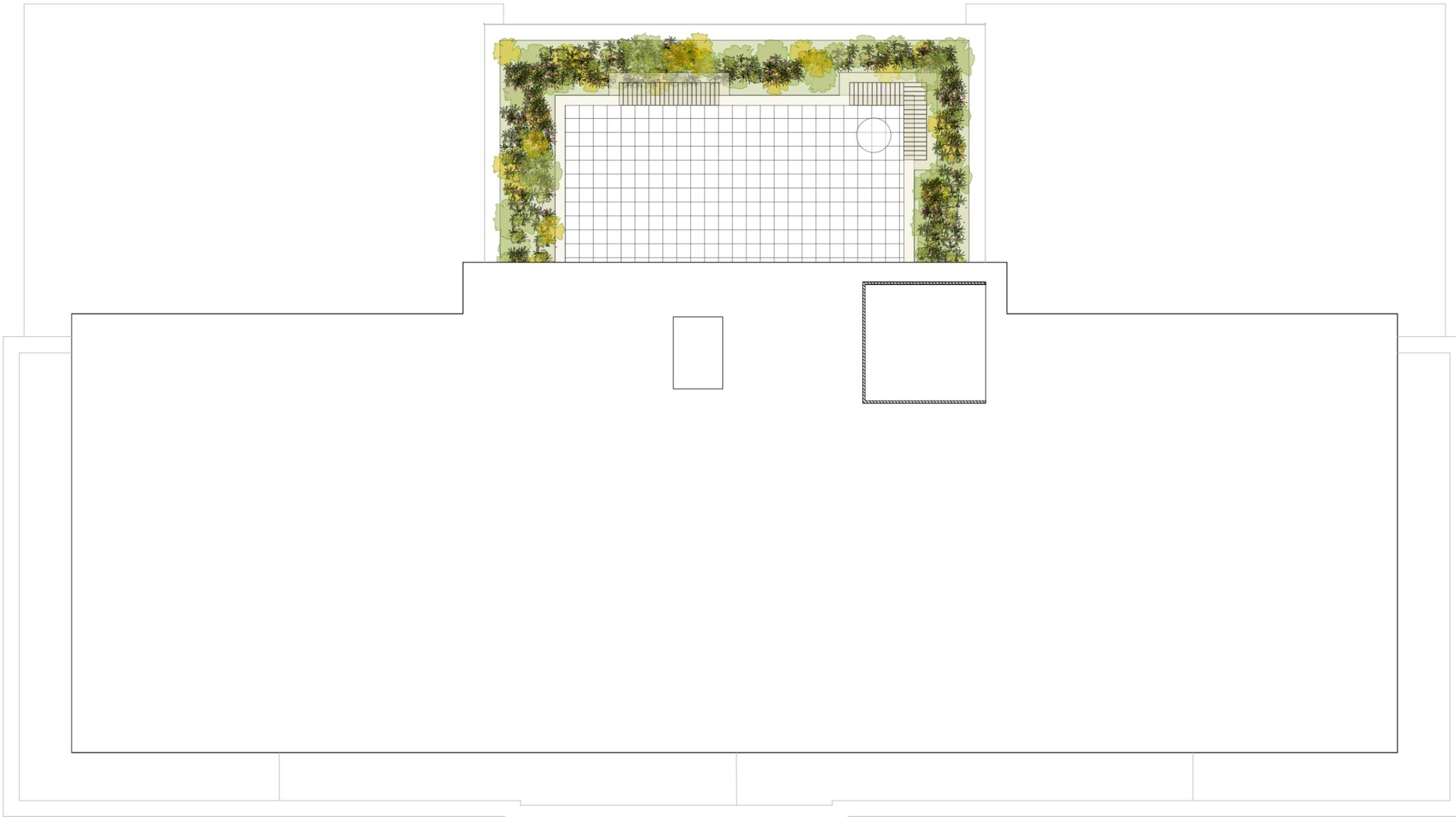
CLEMENTS & PORTER
ARCHITECTS

A: 63 Rivington Street, London, EC2A 3QQ T: 020 7739 5798
E: info@clementsporter.co.uk W: www.clementsporter.co.uk

Project	73 Canalside, Homethrop, Surrey, RH1 2NH
Title	Fifth Floor Plan Proposed
Scale	1:100@A3
Date	29.10.19
Drawn By	AM
Drawing No.	994.205A

Do not scale from this drawing This drawing is copyright

Agenda Item 6



74

Notes

PLANNING APPLICATION

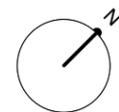
Revision	Date	Description
A	03.04.20	General Revision for Planning

CLEMENTS & PORTER
ARCHITECTS

A: 63 Rivington Street, London, EC2A 3QQ T: 020 7739 5799
E: info@clementsporter.co.uk W: www.clementsporter.co.uk

Project	73 Canalside, Homethrope Surrey, RH1 2NH
Title	Roof Floor Plan Proposed
Scale	1:100@A3
Date	29.10.19
Drawn By	AM
Drawing No.	944.206A

Do not scale from this drawing This drawing is copyright



Agenda Item 7

Planning Committee
2 September 2020

Agenda Item: 7
19/02592/F

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	2 September 2020
	REPORT OF:	HEAD OF PLANNING
	AUTHOR:	Clare Chappell
	TELEPHONE:	01737 276004
	EMAIL:	Clare.Chappell@reigate-banstead.gov.uk
AGENDA ITEM:	7	WARD: Earlswood and Whitebushes

APPLICATION NUMBER:	19/02592/F	VALID:	16/01/2020
APPLICANT:	Mr D Moftakhar	AGENT:	Reigate Architects Ltd
LOCATION:	LAND ADJACENT TO 122 BRAMBLETYE PARK ROAD REDHILL SURREY RH1 6EJ		
DESCRIPTION:	New three-storey building containing two semi-detached dwellings. External landscaping with four car parking spaces (two spaces for each dwelling). As amended on 15/04/2020 21/04/202 13/05/2020, 20/05/2020, 10/07/2020 and on 20/08/2020.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

SUMMARY

This is a full planning application for the construction of a new building comprising two semi-detached houses. The houses would be three-storey, each having four bedrooms and two car parking spaces.

The site comprises a largely open area of land on the northeast side of Brambletye Park Road located between a five-storey apartment block (Bramley Court) to the north and a two-storey row of terraced housing to the southeast. The railway line lies beyond the rear boundary, screened by woodland. The front of the site includes an area of hard-standing and a bit further back in the site are raised concrete edges which are understood to be the tops of disused buried water tanks; the remainder of the site is undeveloped woodland.

The surrounding area is mostly residential in an area characterised by Victorian and Edwardian houses. Earlswood Infant and Nursery School and another nursery school are nearby.

The proposed houses make good use of space in the urban area and their scale and form are considered to overcome the design and character issues which resulted in refusals and appeal dismissals of previous schemes for apartment blocks on the site.

It is acknowledged that the houses would still be larger and notably deeper than most in the surrounding area, but taking into account the emphasis placed by the appeal

Agenda Item 7

Planning Committee
2 September 2020

Agenda Item: 7
19/02592/F

Inspectors' assessments, and that the new houses would be set-back, founded at road level, allow space for boundary and frontage landscaping, including replacement trees, and are intended to be finished in a palette of traditional materials, the overall appearance of the development is found to be appropriate for its setting.

Most of the trees in the front half of the site would be removed. These trees are deemed low quality in the main, and so their loss is not resisted but with the expectation that this loss is compensated for by a robust soft landscaping scheme, including new trees. An ecology survey and consultations with Surrey Wildlife Trust have identified the woodland to the rear half of the site to be a 'Habitat of Principal Importance for the purpose of conserving biodiversity'. Appropriate measures to ensure the woodland habitat is protected during the works and managed going forward, including measures to achieve a net gain in biodiversity are secured by condition.

The development is not considered to adversely impact the amenity of the neighbouring homes and obscured glazing shall be secured by condition to ensure an acceptable privacy relationship.

The County Highway Authority have raised no objection to the scheme on safety, capacity and policy grounds subject to usual measures controlled by condition. Each house would have two off-street parking spaces which meets the Council's minimum standard for this 'medium accessibility' location.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

Consultations:

Highway Authority: No objection, subject to conditions, see Highways section in report below.

Surrey Wildlife Trust: No objection subject to compliance with ecology report provisions and pre-commencement conditions requiring submission and approval of a Construction and Environment Management Plan (CEMP) and a Landscape and Ecological Management Plan (LEMP) to protect the woodland to the rear of the site in particular, and also to compensate for the loss of the trees to the front of the site and to provide a net gain in biodiversity.

Tree Officer: No objection, subject to finalised tree protection and landscaping conditions, see Impact on Trees section in report below.

Network Rail: No objections.

Representations:

Letters were sent to neighbouring properties on 20 January 2020. A site notice was posted on 7 February 2020. Neighbours were re-notified several times on revised plans and information for 14-day periods commencing 20 April, 1 May, 14 May and 24 July 2020.

2no. Responses have been received raising the following issues:

Issue	Response
Flooding	The site is in Flood Zone 1 (low risk of river flooding) and there does not appear to be surface water flooding issues in the vicinity.
Harm to wildlife habitat	See paragraphs 6.28 – 6.34.
Loss of/harm to trees, arb report not accurate about the condition of the trees	See paragraphs 6.19 – 6.27.
Do not consider T1 is within site boundary	T1 is to be retained. Pruning and protection will be subject to condition requiring finalised tree protection submission.
Secure hoarding should be erected due to primary school walking route.	Construction Transport Management Plan condition will address pedestrian safety. Separate legislation (outside of planning) to control safety of construction sites.
Overlooking issues should be dealt with appropriately with obscured glass etc.	See paragraphs 6.14 and 6.15.
2-storey description ought to be 3-storey	Description has been amended

Agenda Item 7

Planning Committee
2 September 2020

Agenda Item: 7
19/02592/F

1.0 Site and Character Appraisal

- 1.1 The application site comprises a largely open area of land on the northeast side of Bramletye Park Road located between a five-storey apartment block (Bramley Court) to the north and a two-storey row of terraced housing to the southeast. The railway line lies beyond the rear boundary, screened by woodland. The front of the site includes an area of hard-standing and a bit further back in the site are raised concrete edges which are understood to be the tops of disused buried water tanks; the remainder of the site is undeveloped. The land slopes steeply up from the front of the site to the rear. The site is overgrown, and the boundaries are lined by trees of varied species, but none are protected, the back of the site is heavily treed.
- 1.2 There are no planning designations on the site other than it being in the Urban area. The surrounding area is mostly residential but with Earlswood Infant and Nursery School and another nursery school nearby. There is an access track to the southeast side of the site which leads to allotments.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Improvements have been achieved through a pre-application process; the scheme for a pair of semi-detached houses was supported over the previous proposal (refused and dismissed at appeal) for an apartment block of seven units. Improvements secured include reduction in the depth of the balconies; better, more domestic character to the building design; rooflights to side elevations rationalised; more soft landscaping to break-up parking to the frontage.
- 2.2 Improvements secured during the course of the application: Tree positions and land ownership have been clarified. The tandem parking arrangement has been changed to side-by-side parking spaces at the request of members. Details have been provided on the retaining wall alongside allotment access track. Additional obscured glazing has been shown on the side elevations. More details on planting have been provided, but subsequently considered unacceptable and so landscaping is to be conditioned. Site layout adjusted to indicate lower planting in visibility splays. Updated ecological survey and report provided, and further biodiversity measures put forward.
- 2.3 Further improvements to be secured through conditions or legal agreement: The following conditions are recommended to be attached to the permission:
 3. Materials (details to be submitted pre-above ground level)
 4. Levels (pre-foundations works)
 5. Finalised tree protection (pre-commencement)
 6. Ecology report recommendations (compliance)
 7. Construction and Environment Management Plan (CEMP) (pre-commencement)
 8. Landscaping and Ecology Management Plan (LEMP) (pre-commencement)
 9. Full landscaping + replacement tree planting
 10. Construction Transport Management (pre-commencement)
 11. Boundary treatments
 12. Highways access (compliance)
 13. Highways parking (compliance)

- 14. Pedestrian inter-visibility splay (compliance)
- 15. Electric vehicle chargers (details submitted pre-occupation)
- 16. Obscured glazing (details to be submitted pre-above ground level)
- 17. Balconies (details to be submitted pre-use of balconies)
- 18. Building efficiency (details submitted pre-occupation)
- 19. High speed broadband (compliance)
- 20. Removal of permitted development rights for extensions (compliance)

3.0 Relevant Planning and Enforcement History

- 3.1 15/00850/F - Apartment block development over 4 levels plus loft containing 6 No. single bed flats and 2 No. two bed flats. External landscape with 9 No. car parking spaces (including 2 No. for disabled use). REFUSED 17 June 2015.
- 3.2 16/00718/F - Apartment block development over 3 levels plus loft containing 1 No. single bed flat and 6 No. two bed flats. External landscaping with 5 No. car parking spaces (including 2 No. for disabled use). REFUSED 24 May 2016. APPEAL DISMISSED 1 November 2016.
- 3.3 17/00980/F - Apartment block development over 3 levels plus loft containing 1 no. single bed flat and 6 no. two bed flats. External landscaping with 5 no. car parking spaces (including 2 no. for disabled use). REFUSED 21 June 2017. APPEAL DISMISSED 1st May 2018.
- 3.4 PAM/19/00204 – Pre-application advice: 2 No. four bed semi-detached houses with 4 No. car parking spaces. PRE-APPLICATION ADVICE ONLY.

4.0 Proposal and Design Approach

- 4.1 The proposal is for a pair of semi-detached, three-storey houses with associated parking spaces and landscaping. The two houses would each have 4-bedrooms, with identical floor plan.
- 4.2 The applicant has submitted a design and access statement. A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
Assessment;
Involvement;
Evaluation; and
Design.
- 4.3 Evidence of the applicant’s design approach is set out below:

Assessment	An assessment has been made of the character of the surrounding area and this has been considered to a limited degree to inform the proposed scheme
------------	---

Agenda Item 7

Planning Committee
2 September 2020

Agenda Item: 7
19/02592/F

Involvement	The applicant has sought pre-application advice from the LPA prior to submitting the application, and this advice has been largely adopted. No community consultation took place.
Evaluation	The design statement demonstrates that the previous refusals and appeal dismissals have been heeded and the need for significant reduction in scale is reflected in the fewer residential units, in the reduction in the height and omission of the crown roof, and greater separation to the boundaries provided by the current scheme.
Design	The design has evolved from the dismissed appeal schemes and the reasons given by the LPA and the Inspectors' for those decision. The developer has taken those on board. The design statement notes that the selection of materials and detailing for the revised proposal reflects the comments of the Inspector and reflects the character of the surrounding area. The increased gap between the flank walls of the revised proposal and the side boundaries of the plot will mean that there is additional space for landscaping. Attention is also drawn to the amount of concrete and hard standing there is currently on the site which will be decreased significantly therefore providing a larger soft landscaped area.

4.4 Further details of the development are as follows:

Site area	0.12 hectares
Existing use	Disused utilities and undeveloped land.
Proposed use	Residential
Proposed parking spaces	2 spaces per dwelling (4 in total)
DMP parking standard	2 spaces per dwelling (4 in total)

5.0 Policy Context

5.1 Designation
Urban Area

5.2 Reigate and Banstead Core Strategy
CS1(Sustainable Development)
CS2 (Valued Landscapes and the Natural Environment)
CS4 (Valued Townscapes and Historic Environment)
CS10 (Sustainable Development)
CS11 (Sustainable Construction)
CS12 (Infrastructure Delivery)
CS14 (Housing Needs)

5.3 Reigate and Banstead Development Management Plan

DES1 (Design of New development)
DES5 (Delivering high quality homes)
DES8 (Construction Management)
TAP1 (Access, Parking and Servicing)
CCF1 (Climate Change Mitigation)
NHE2 (Protecting and enhancing biodiversity and areas of geological importance)
NHE3 (Protecting trees, woodland areas and natural habitats)
INF3 (Electronic communication networks)

5.4 Other Material Considerations

National Planning Policy Framework
National Planning Practice Guidance
Supplementary Planning Guidance

Householder Extensions and
Alterations SPG 2004
Reigate & Banstead Local
Distinctiveness Design Guide 2004

Other

Human Rights Act 1998
Community Infrastructure Levy
Regulations 2010
Nationally Described Space
Standards

6.0 **Assessment**

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of residential development is acceptable. It is noted that the 'Urban Open Land' designation which previously applied to the site under the old Local Plan has been removed under the current Development Plan. In any case, the principle of developing the site had already been deemed acceptable; the previous application assessments had accepted that the site had limited value as Urban Open Space.

6.2 The development would provide two residential units and as such the development would help the Council meet some of the Borough's identified housing need and furthermore would be welcomed as a contribution to housing supply. However, the principle of acceptability in this case rests upon considering the impact of the proposal and resultant harm and the need to provide additional housing, and its resultant benefit. The following report sets out the key considerations.

6.3 The main issues to consider are:

- Design and effect on the character of the area
- Neighbour amenity
- Highways matters
- Impact upon trees
- Ecology matters

Agenda Item 7

Planning Committee
2 September 2020

Agenda Item: 7
19/02592/F

- Affordable housing and Community Infrastructure Levy
- Other matters

Design and effect on the character of the area

- 6.4 The proposed semi-detached pair of houses, over three levels, represent a considerable reduction in scale relative to the previously refused scheme for a block of seven flats over four levels. The reduced height has allowed a fully pitched roof, which omits the crown roof that the previous Inspector found to be particularly harmful in terms of its bulk and prominence.
- 6.5 It follows, that the eaves height of the building is also significantly reduced and that the front elevation has a more domestic appearance overall, which relates better to the prevailing two-storey scale of nearby houses. It is acknowledged that the three-storey height would exceed the two-storey terrace adjacent, however, the proposed building would be founded at the lower street level whereas the terrace is elevated on a bank. The third storey would also be partly within the roof and so does not have the 'full' three-storey visual impact. There is also the influence of five-storey Bramley House, which as the Inspector noted, sits in a comparatively more spacious setting, but nonetheless, adds to the variety of scale within the locality. The proposed building also benefits from being set-back from the road. The front of the building would sit slightly forward of the adjacent terrace and the forward-most corner of Bramletye House but as there is not a distinct front building line on this section of the road, and that further along the road and on the opposite side of the road the set-back of the building fronts is less the proposed positioning would not appear awkward or dominant.
- 6.6 The building would be deep; the upper floors having a total depth of 15.2m approx. and the length of unbroken side elevation being 12.3m approx. This would be far deeper than is typical of the housing in this location, however, the Inspectors for the previous appeal schemes (which had similar upper storey depths) did not raise issue with the depth.
- 6.7 The separation to the side boundaries has been increased from 1.5m on the previous flatted scheme to approximately 2.0m on each side on the current scheme. This would allow the building to sit more comfortably within the plot, and in combination with the other scale reductions and more domestic design, would overcome the cramped and overdeveloped reasons for refusal. The gap to the sides would be enough space for hedge planting that could be sought by a landscaping condition.
- 6.8 The safeguarding of the woodland in the rear section of the site (see sections on trees and ecology below), which has quite some height and impact as the land rises to the rear, would provide a strong, verdant backdrop which I feel contributes to the effect of diminishing the scale of the building.
- 6.9 The frontage to the building would comprise two parking spaces and a footpath for each house. Although the parked cars would sit at the front of the site and fill the majority of the frontage width, this arrangement is the most practical for a car parking layout. Mindful of minimising the car dominated frontage as much as

possible, the parking spaces would be bordered by hedging the applicant understands the expectation that the trees lost along the side boundaries would be replaced by new trees where space allows to the side boundaries but also in the garden areas behind the driveways.

- 6.10 The design statement suggests the elevations would be finished in brickwork and render, which would be appropriate in the context of the materials of the Edwardian and Victorian houses in the vicinity. The exact details of the external finishes would be reserved by condition.
- 6.11 In summary, the proposed development would be acceptable in terms of its design and impact upon the character of the wider area and complies with policy DES1.

Neighbour Amenity

- 6.12 In relation to the larger block of flats with multiple rear balconies and staircases, the appeal Inspector did not consider there would be harm to the amenity of no.122 Brambletye Park Road, which is the end terrace nearest the southeast side of the site. The separation between the proposed building and the side boundary of the garden of no.122 would be reasonably generous owing to the access track for the allotments. The rear-most part of the upper storeys of the new houses would have set-in flank wall walls which allows the 45 degree test from the rear windows at no.122 to clear the new building, thus indicating that there would be no significant loss of light.
- 6.13 Due to no.122 being founded at a higher elevation, the ground floor of no.122 would be almost level with the first floor of the proposed building, with the proposed ground floor sitting down behind a new retaining wall running along the allotment track boundary. Consequently, despite the deeper projection of the proposed building, the difference in height between the two buildings would not be significant and the lateral separation would prevent the new-build from being overbearing for the occupants of no.122.
- 6.14 As the ground floor of no.122 would be almost level with the first floor of the proposed building, I do not consider that there is likely to be harmful sideways overlooking from the first floor rear bedroom and its balcony. To ensure that the building relationship to the site and the neighbouring building it is appropriate to control the levels of the new building by condition. In addition, a condition to ensure that obscured glazing and screening is included to prevent harm by way of overlooking.
- 6.15 In relation to the flats at Bramley House, the separation distance is much larger and so there would be no harmful loss of light or overbearing issues. In terms of privacy, given the separation distance of 18.0m approx. to the nearest corner of Bramley House and that the flats and their balconies are already in a more communal setting and it is not considered that the proposed rear bedroom side facing windows and rear balcony would allow such a degree of overlooking so as to be materially harmful.

Agenda Item 7

Planning Committee
2 September 2020

Agenda Item: 7
19/02592/F

- 6.16 In summary, while giving rise to a degree of change in the relationship between buildings, the proposed scheme would not adversely affect the amenity of neighbouring properties and complies with policy DES1.

Highways Matters

- 6.17 The proposed development has been considered by the Highway Authority who having assessed the application on safety, capacity and policy grounds and raise no objections subject to conditions.
- 6.18 The proposed scheme provides 2 parking spaces for each dwelling, which meets the Council's minimum standard for the 'medium accessibility' location. Accordingly, given the Highway Authorities position and the compliance with the parking standard, the proposed scheme would accord with policies TAP1 and DES8.

Impact upon Trees

- 6.19 Most of the trees which sit close to the side boundaries, towards the front half of the site are to be removed. The removals include 1no. B-category tree, 12no. C-category trees and 1no. U-category tree. Two B-category Ash trees (T1 and T12) close to the northwest boundary with Bramley House would be retained and protected during the construction. Four C-category trees beyond the rear of the new building would be retained. Beyond this, the woodland in the rear portion of the site has not been surveyed but it would be ensured through condition that this woodland would be protected.
- 6.20 The Tree officer made the following initial observation:
- 6.21 *"The submitted arboricultural information has been compiled in accordance with the guidelines, advice and recommendation contained within British Standard 5837:2012 trees in relation to design, demolition and construction recommendations. The information is based on the earlier involvement of the arboricultural consultant with the survey being undertaken in 2015. The trees on site are low quality and have been categorised in the lower categories with only three trees being assigned to 'B' category, numbered T1 ash, T5 Alder and T12 ash which appear to be located off site close to the north western side boundary.*
- 6.22 *"I would agree that many of the trees are located close to the boundaries and ownership and the shown red line should be investigated as a number of these trees will be removed to facilitate the development if approved.*
- 6.23 *"There is only one 'B' grade tree removed, which is T5 and alder which appears to be located off site. The two other 'B' grade trees are both ash numbered T1 and T12. The long-term retention of these trees may be questionable as they could succumb to Ash decline in the future requiring removal whether development proceeds or not. T1 is the ash tree located off site close to the front entrance the existing hard standing will be retained for the duration of the main construction period being removed under arb supervision with the new surface not exceeding the depth of the existing concrete slab*

- 6.24 *“Whilst the tree survey was originally undertaken in 2015 it appears that the arboricultural information has been revised in part. The Council on the two previously refused application have not raised any objection to the loss of trees and within the 2016 application 16/00718/F they are clearly considered not to be worthy of inclusion in a Tree Preservation Order.”*
- 6.25 To provide appropriate control in respect of the implementation of the development in relation to the trees on and off site together with the need for appropriate landscaping and boundary hedges and trees etc conditions are recommended. These would also provide the control to improve biodiversity and wildlife habitat and resilience into the landscape with varied native species and selected cultivars of native species.
- 6.26 The applicant confirmed that he considers all the trees that are proposed to be removed are in his ownership. There has not been a full survey of the below ground water tanks but the applicant believes they are relatively shallow and has confirmed they would be completely removed. It is considered that the appropriate removal of these tanks can be controlled through the finalised arboricultural method statement and protection plan.
- 6.27 The applicant is aware of the need to resolve the tree protection and landscaping requirements by pre-commencement condition and subject to the conditions recommended the proposed scheme would therefore be compliant with policies DES1 and NHE3.

Ecological matters

- 6.28 Following detailed comments from Surrey Wildlife Trust the applicant provided further information on biodiversity net gain in their: Biodiversity Enhancement Letter, Ref: E1778 010720 (Hone Ecology, 1st July 2020) and in conclusion Surrey Wildlife Trust raise no objection subject to conditions. Their final comments are:
- *“It is understood that native species rich hedgerows and trees, bird and bat boxes, scrub habitat and log piles will be provided.”*
 - *“We advise that, should the Council be minded to grant planning permission for the proposed development, the proposals should incorporate all compensation and enhancement measures identified in the above referenced Biodiversity Enhancement Letter, Ref: E1778 010720. Further enhancements could also be incorporated and Section 9 of the above referenced Extended Phase 1 Ecological Habitat Survey Report provides additional enhancement recommendations.”*
 - *“As above the loss of trees and other vegetation on site should be sufficiently compensated for and additional planting provided to help achieve an overall net gain. Whilst the biodiversity enhancements letter suggests that a range of native species of known value to wildlife will be planted the landscape plans do not yet appear to have been updated to reflect these recommendations and the number and species of trees / shrubs to be planted is not provided. Furthermore we advise that the area of woodland, identified as a Habitat of Principal Importance, should be restored / enhanced as a result of the proposals. We therefore advise the following: Should the Council be minded to grant planning permission for this*

Agenda Item 7

Planning Committee
2 September 2020

Agenda Item: 7
19/02592/F

proposed development, we recommend that the Council requires the development to be implemented in accordance with an appropriately detailed landscape and ecological management plan (LEMP)."

- 6.29 Accordingly, conditions are recommended to be attached to the permission requiring compliance with the recommendations in the Phase 1 Ecological Habitat Survey Report and requiring a Construction and Environment Management Plan (CEMP) and a Landscape and Ecological Management Plan (LEMP) to be submitted to and approved by the LPA (in consultation with Surrey Wildlife Trust and the Tree Officer) prior to commencement of the development.

Affordable Housing and Community Infrastructure Levy

- 6.30 Development Management Plan DES6 states that on developments providing 11 or more homes, 30% of the homes on site should provide affordable housing. This supersedes the Core Strategy policy CS15 in its entirety.
- 6.31 In view of this, the Council is not presently requiring financial contributions from applications such as this resulting in a net gain of 10 units or less.
- 6.32 The Community Infrastructure Levy (CIL) is a fixed charge which the Council has been collecting from some new developments since 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, roads, public transport and community facilities which are needed to support new development. This development would be CIL liable although the exact amount would be determined and collected after the grant of planning permission.

Other matters

- 6.33 Policy DES5 has several requirements to ensure all new residential developments provide high quality, adaptable accommodation, and provide good living conditions for future occupants. The proposed houses would be generous in size and exceed the Nationally Described Space Standards requirements. The houses would have adequate daylight with windows in facing three orientations. The rear outdoor space would have a level area of decking and it is acknowledged that the land beyond this (labelled as 'shared woodland' on the layout drawing) would afford appropriate amenity space with the backdrop of the retained trees that would be subject to an ongoing landscape and ecological plan.
- 6.34 Given the sensitivity of the site in terms of the woodland and the additional biodiversity measures required, it is necessary to restrict future extensions, outbuildings and hard surfaces to ensure the restored habitats and vegetation are subject to control. Accordingly, permitted development rights for such enlargements are recommended to be removed by condition.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans:

Plan type	Reference	Version	Date Received
Location Plan	1710-01	P02	21.04.2020
Existing Plans	1710-02	P01	23.12.2020
Elevation Plan	1710-03	P01	23.12.2020
Elevation Plan	1710-04	P01	23.12.2020
Proposed Plans	1710-06	P03	20.05.2020
Elevation Plan	1710-07	P03	13.05.2020
Elevation Plan	1710-08	P04	21.04.2020
Proposed Plans	1710-09	P02	13.01.2020
Elevation Plan	1710-10	P03	21.04.2020
Section Plan	1710-11	P02	21.04.2020
Detailed Technical Plan	1710-13	P01	13.05.2020

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

- The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:

To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

- No development shall take place above ground level until samples of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details.

Reason:

To ensure that a satisfactory external appearance is achieved with regard to Reigate and Banstead Development Management Plan policy DES1.

- No foundation works shall take place until the developer obtains the Local Planning Authority's written approval of details of both existing and proposed ground levels and the proposed finished ground floor levels of the buildings. The development shall be carried out in accordance with the approved levels.

Reason:

To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with the surrounding landscape and buildings, and to safeguard the visual amenities of the locality with regard to policy DES1 of the Reigate and Banstead Development Management Plan 2019.

- No development shall commence including any demolition of underground tanks or groundworks preparation until a detailed, scaled 'finalised' Tree Protection Plan (TPP) and the related Arboricultural Method Statement (AMS) is submitted to and approved in writing by the Local Planning Authority (LPA). These shall include details of the specification and location of exclusion fencing, ground protection and any construction activity that may take place within the Root Protection Areas of trees (RPA) shown to

Agenda Item 7

Planning Committee
2 September 2020

Agenda Item: 7
19/02592/F

scale on the TPP, including the installation of any service routings and drainage runs and details of the removal of the existing underground concrete tanks. The AMS shall also include a pre commencement meeting, supervisory regime for their implementation & monitoring with an agreed reporting process to the LPA.. All works shall be carried out in strict accordance with these details when approved.

Reason:

To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and policies NHE3 and DES1 of the Reigate and Banstead Development Management Plan 2019.

6. The proposed development, including ecological supervision, shall be implemented in accordance with the Extended Phase 1 Ecological Habitat Survey Report (Hone Ecology, Report V1.1 30th April 2020) with regards to the protection of badgers, bats, breeding birds, hazel dormice, reptiles and amphibians, hedgehogs, trees with potential roost features, and the consideration of sensitive lighting.

Reason:

To conserve the biodiversity of the site in accordance with the provisions of the National Planning Policy Framework and policies NHE2 and NHE3 of the Development Management Plan 2019.

7. No development shall commence on site until a Construction and Environment Management Plan (CEMP) including details of how the woodland habitat will be protected from any adverse impacts as a result of construction. The CEMP should be compatible with the tree protection condition submission and include adequate details of the following:

- a) Risk assessment of potentially damaging construction activities
- b) Practical measures to avoid and reduce impacts during construction
- c) Location and timing of works to avoid harm to biodiversity features
- d) Responsible persons and line of communication
- e) Use of protected fences, exclusion barriers and warning signs.

The development shall be implemented in in full accordance with the approved management plan.

Reason:

To retain and protect the woodland which is identified as Habitat of Principal Importance for the purpose of conserving biodiversity and to accord with the provisions of the National Planning Policy Framework and policies NHE2 and NHE3 of the Development Management Plan 2019.

8. No development shall commence on site until a Landscape and Ecological Management Plan (LEMP) has been submitted and approved in writing by the local planning authority. The scheme should be compatible with and submitted alongside the landscaping and replacement tree planting condition submission. The LEMP should be based on the proposed impact avoidance, mitigation, compensation and enhancement measures specified in the Extended Phase 1 Ecological Habitat Survey Report (Hone Ecology, Report V1.1 30th April 2020) and the Biodiversity Enhancement Letter, Ref: E1778 010720 and should include adequate details of the following:

- a) Description and evaluation of features to be managed and created to achieve a biodiversity net gain, including soft landscaping details.

- b) Aims and objectives of management and appropriate management options to achieve aims and objectives.
- c) Ongoing monitoring and remedial measures.
- d) Details of any required legal / funding mechanisms.

All landscaping and ecology work shall be completed in full accordance with the approved management plan.

Reason:

To provide enhancements to the biodiversity of the site in accordance with the provisions of the National Planning Policy Framework and policies NHE2 and NHE3 of the Development Management Plan 2019.

9. No development shall commence on site until a scheme for the landscaping and replacement tree planting of the site including the retention of existing landscape features has been submitted and approved in writing by the local planning authority. The scheme should be compatible with and submitted alongside the Landscape and Ecological Management Plan (LEMP). Landscaping schemes shall include details of hard landscaping, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or use of the approved development or in accordance with a programme agreed in writing with the local planning authority.

All new tree planting shall be positioned in accordance with guidelines and advice contained in the current British Standard 5837. Trees in relation to construction.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, and shrubs of the same size and species.

Reason:

To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies NHE3 and DES1 of the Reigate and Banstead Borough Local Plan 2019, British Standards including BS8545:2014 and British Standard 5837:2012.

10. No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) measures to prevent the deposit of materials on the highway
 - (e) on-site turning for construction vehicles (including measures for traffic management)
 - (f) arrangements and details of works to remove below ground water tanks
- has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Agenda Item 7

Planning Committee
2 September 2020

Agenda Item: 7
19/02592/F

Reason:

The above condition is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and policies TAP1 and DES8 of the Reigate and Banstead Local Plan Development Management Plan September 2019.

11. Notwithstanding the plans hereby approved, no development shall commence above ground floor level until a plan indicating the positions, design, materials and type of boundary treatment to be erected has been submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be completed before the occupation of the development hereby permitted.

Reason:

To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the Reigate and Banstead Development Management Plan policies DES1 and NHE3.

12. No part of the development shall be first occupied unless and until the proposed vehicular access has been constructed and provided in accordance with the approved plans and thereafter shall be retained and maintained for its designated purpose.

Reason:

The above condition is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 of the Reigate and Banstead Local Plan Development Management Plan September 2019.

13. The development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with the approved plans for vehicles to be parked. Thereafter the parking areas shall be retained and maintained for their designated purposes.

Reason:

The above condition is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 of the Reigate and Banstead Local Plan Development Management Plan September 2019.

14. Prior to occupation of the site, a pedestrian inter-visibility splay of 2m by 2m shall be provided on each side of the access, the depth measured from the back of the footway (or verge) and the widths outwards from the edges of the access. No fence, wall or other obstruction to visibility between 0.6m and 2m in height above ground level shall be erected within the area of such splays.

Reason:

The above condition is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2019 and Policy TAP1 of the Reigate and Banstead Local Plan Development Management Plan September 2019.

15. The development hereby approved shall not be occupied unless and until each of the dwellings hereby approved is provided with a fast charge socket (current minimum requirements - 7 kw Mode 3 with Type 2 connector - 230v AC 32 Amp single phase

dedicated supply) in accordance with a scheme to be submitted and approved in writing by the Local Planning Authority and thereafter retained and maintained to the satisfaction of the Local Planning Authority.

Reason:

In recognition of Section 9 "Promoting Sustainable Transport" in the National Planning Policy Framework 2019 and policy TAP1 of the Reigate and Banstead Development Management Plan 2019.

16. No development shall take place above ground level until finalised elevations showing the openers, obscured glazing and levels for the first and second floor side facing windows have been submitted to and approved in writing by the local planning authority and on development shall be carried out in accordance with the approved details and maintained as such at all times.

Reason:

To ensure that the development does not affect the amenity of the neighbouring properties by overlooking with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

17. The roof areas of the rear ground floor projections on the building hereby permitted shall not be used as balconies, roof gardens or similar amenity area unless and until details of the balustrades, which limit the usable balcony depth to 1.5m, and screens (if necessary) have been submitted and approved in writing by the local planning authority. The balustrades and screens shall thereafter be permanently retained and maintained and there shall be no variation to them without the prior approval in writing of the Local Planning Authority.

Reason:

To ensure that the development does not affect the amenity of existing properties by elevated outside activity, disturbance and overlooking with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

18. The development hereby approved shall not be first occupied unless and until an Energy and Water Efficiency Statement has been submitted to and approved in writing by the Local Planning Authority. The Statement shall detail how the development will:
- Ensure that the potential water consumption by occupants of each new dwelling does not exceed 110 litres per person per day
 - Achieve not less than a 19% improvement in the Dwelling Emission Rate (DER) over the Target Emission Rate (TER) as defined in Part L1A of the 2013 Building Regulations

The development shall be carried out in accordance with the approved details and any measures specific to an individual dwelling(s) shall be implemented, installed and operational prior to its occupation.

Reason:

To ensure that the development supports the efficient use of resources and minimises carbon emissions with regard to Policy CS10 of the Reigate & Banstead Core Strategy 2014 and Policy CCF1 of the Reigate & Banstead Development Management Plan 2019.

Agenda Item 7

Planning Committee
2 September 2020

Agenda Item: 7
19/02592/F

19. The new dwelling hereby approved shall be provided with the necessary infrastructure to facilitate connection to a high speed broadband. Unless otherwise agreed in writing with the Local Planning Authority, this shall include as a minimum:

- a) A broadband connection accessed directly from the nearest exchange or cabinet
- b) Cabling and associated installations which enable easy access for future repair, replacement or upgrading.

Reason:

To ensure that the development promotes access to, and the expansion of, a high quality electronic communications network in accordance with Policy INF3 of the Reigate & Banstead Development Management Plan 2019.

20. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions, dormer windows, outbuildings, hardstandings, drives or parking spaces shall be constructed (other than those expressly authorised by this permission) without an application and approval by the local planning authority.

Reason:

To control any subsequent enlargements in the interests of the visual and residential amenities of the locality and the protection of the woodland which is identified as Habitat of Principal Importance for the purpose of conserving biodiversity with regard to Reigate and Banstead Development Management Plan 2019 policies DES1 and NHE2.

INFORMATIVES

1. The use of a suitably qualified landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant conditions. Replacement planting of trees and native hedging shall be in keeping with the character and appearance of the locality. There is an opportunity to incorporate structural landscape trees into the scheme to provide for future amenity and long term continued structural tree cover in this area. It is expected that the replacement structural landscape trees will be of Advanced Nursery Stock sizes with initial planting heights of not less than 4.5m with girth measurements at 1m above ground level in excess of 16/18cm.
2. The applicant is advised that the Borough Council is the street naming and numbering authority and you will need to apply for addresses.
This can be done by contacting the Address and Gazetteer Officer prior to construction commencing. You will need to complete the relevant application form and upload supporting documents such as site and floor layout plans in order that official street naming and numbering can be allocated as appropriate. If no application is received the Council has the authority to allocate an address. This also applies to replacement dwellings.
3. If you are building a scheme of more than 5 units please also supply a CAD file (back saved to 2010) of the development based on OS Grid References. Full details of how to apply for addresses can be found http://www.reigate-banstead.gov.uk/info/20277/street_naming_and_numbering
4. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.

5. The permission hereby granted shall not be construed as authority to carry out any works on the highway. The applicant is advised that prior approval must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, or verge to form a vehicle crossover to install dropped kerbs. Please refer to: www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/vehicle-crossovers-or-dropped-kerbs
6. The applicant is advised that as part of the detailed design of the highway works required by the above conditions, the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.
7. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from un-cleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders (Highways Act 1980 Sections 131, 148, 149).
8. Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.
9. The permission hereby granted shall not be construed as authority to obstruct the public highway or footpath by the erection of scaffolding, hoarding or any other device or apparatus for which a licence must be sought from the Highway Authority Local Highways Service.
10. It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to: <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html> for guidance and further information on charging modes and connector types.
11. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info
12. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - c) Deliveries should only be received within the hours detailed in (a) above;

Agenda Item 7

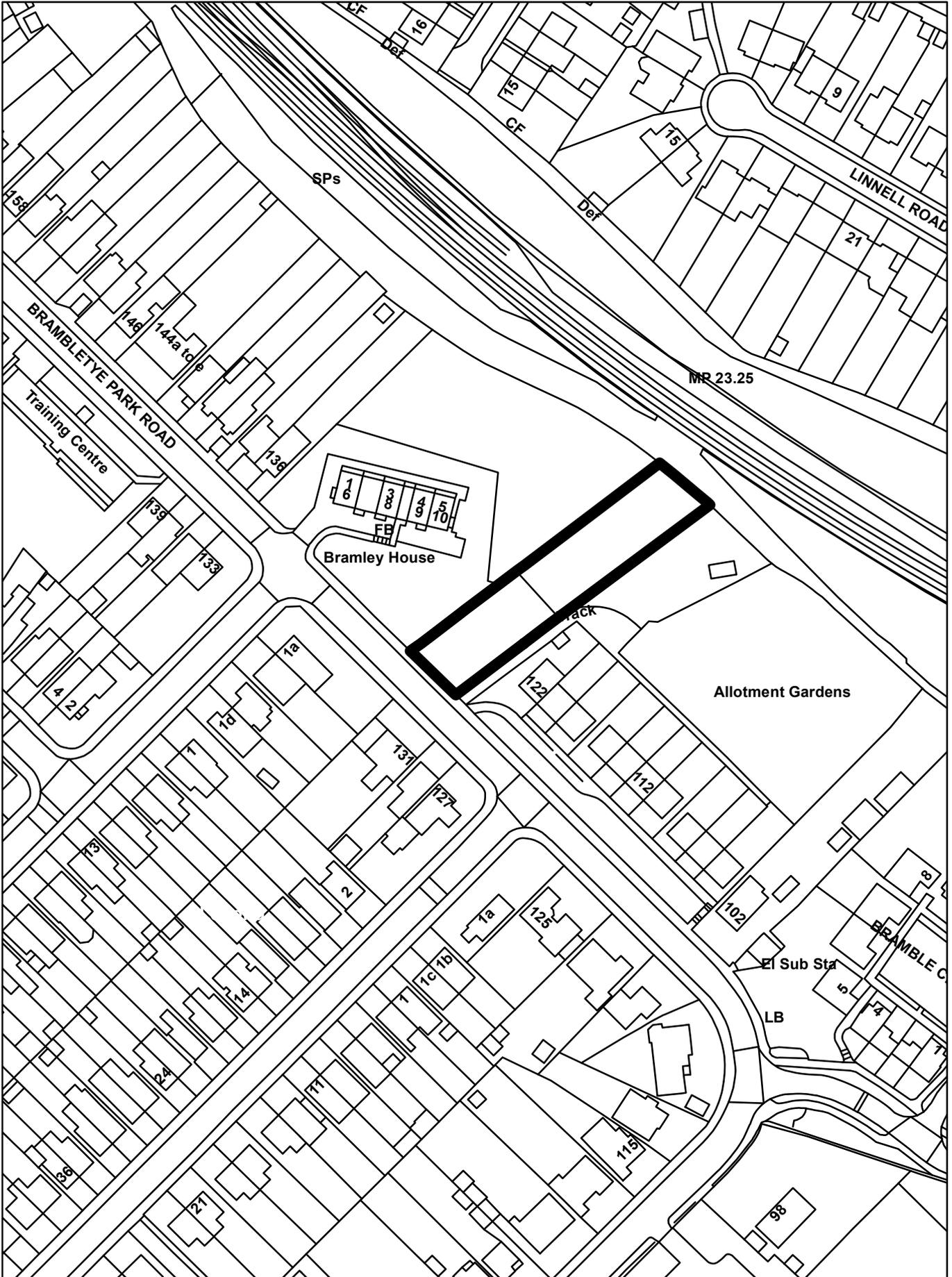
Planning Committee
2 September 2020

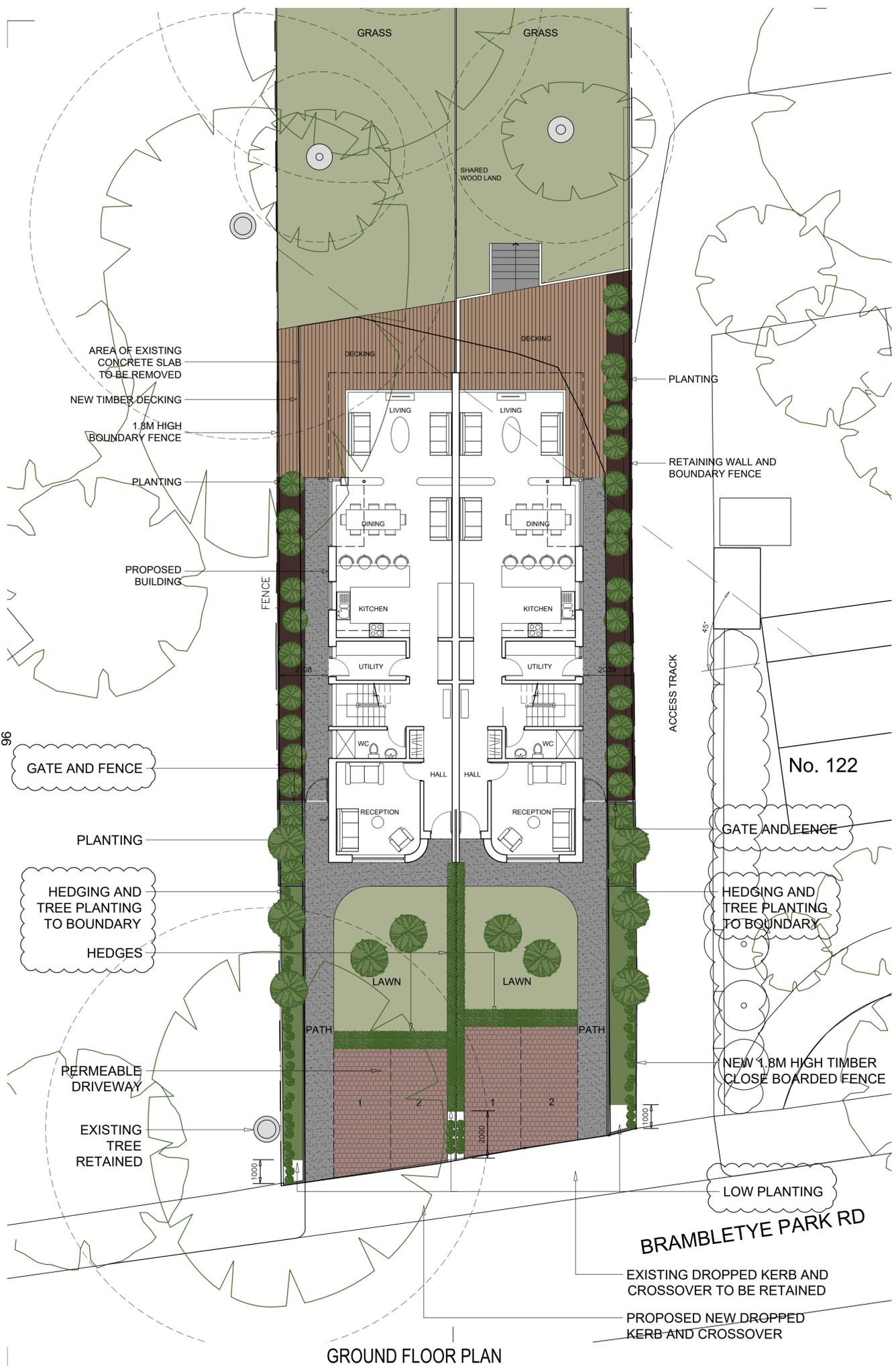
Agenda Item: 7
19/02592/F

- d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
- e) There should be no burning on site;
- f) Only minimal security lighting should be used outside the hours stated above; and
- g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

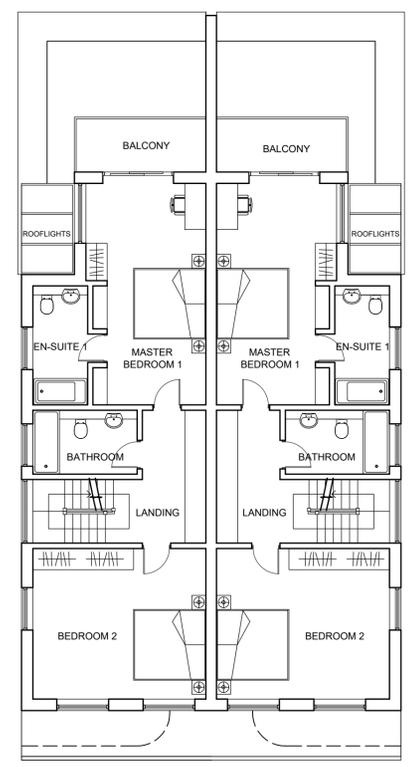
Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

19/02592/F - Land Adjacent To 122 Brambletye Park Road,
Redhill

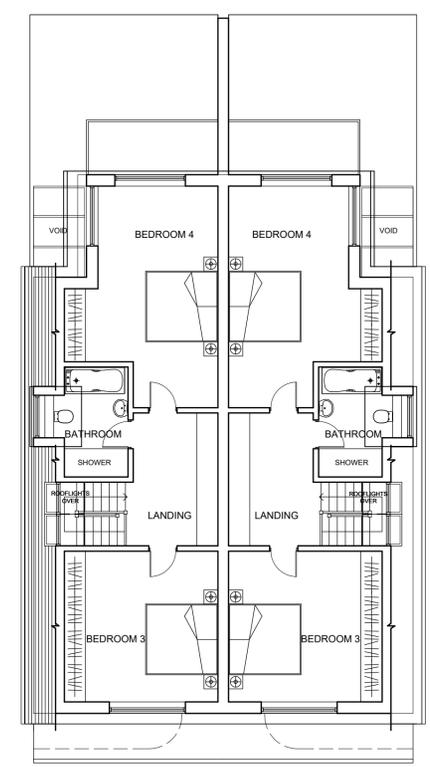




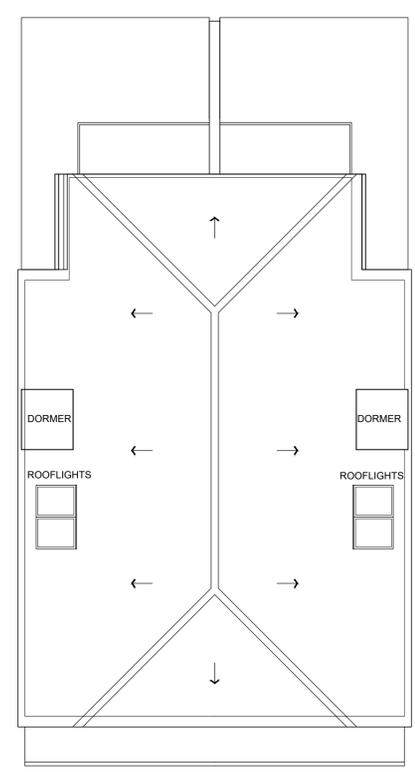
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR (LOFT) PLAN



ROOF PLAN

NOTES

SURVEYED DATE 26/04/2019

CONTRACTORS ARE TO CHECK ALL LEVELS AND DIMENSIONS BEFORE WORK IS PUT IN HAND AND ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECTS.

THIS DRAWING IS SUBJECT TO THE COPYRIGHT OF REIGATE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF REIGATE ARCHITECTS

THE PURPOSE OF THIS DRAWING IS PLANNING

DRAFT

REV	DATE	DESCRIPTION	DWN	CHKD
P01	20/12/19	Planning Application Issued	CL	SW
P02	21/04/20	Car park amended	CL	SW
P03	16/05/20	Front landscaping amended	CL	SW

REIGATE ARCHITECTS

24 HOLMESDALE RD REIGATE SURREY RH2 0BQ 01737 243540

INFO@REIGATEARCHITECTS.CO.UK

CLIENT

JOB
 LAND ADJACENT TO
 122 BRAMBLETYE PARK RD
 RH1 6EJ

TITLE
 PROPOSED
 PLANS

SCALE	DRAWING NO.	REV
1:100@A1 1:200@A3 DATE 20/12/2019 STATUS	1710-06	P03



SIDE (SOUTH-EAST) ELEVATION

97



SIDE (NORTH-WEST) ELEVATION

NOTES
 SURVEYED DATE 26/04/2019
 CONTRACTORS ARE TO CHECK ALL LEVELS AND DIMENSIONS BEFORE WORK IS PUT IN HAND AND ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECTS.
 THIS DRAWING IS SUBJECT TO THE COPYRIGHT OF REIGATE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF REIGATE ARCHITECTS
 THE PURPOSE OF THIS DRAWING IS PLANNING

REV	DATE	DESCRIPTION	DWN	CHKD
P01	20/12/19	Planning Application Issued	CL	S W
P02	10/01/20	Planning amendments	CL	S W
P03	16/01/20	Planning amendments	CL	S W
P04	16/04/20	Obscure glazing added on South-East elevation	CL	S W



24 HOLMESDALE RD REIGATE SURREY
 RH2 0BQ 01737 243540

INFO@REIGATEARCHITECTS.CO.UK

CLIENT

JOB
 LAND ADJACENT TO
 122 BRAMBLETYPE PARK RD
 RH1 6EJ

TITLE
 PROPOSED
 ELEVATIONS (2)

SCALE	DRAWING NO.	REV
1:100@A1	1710-08	P04
1:200@A3		
DATE		
13/12/2018		
STATUS		

Agenda Item 7



FRONT (SOUTH-WEST) ELEVATION

86



REAR (NORTH-EAST) ELEVATION

NOTES
 SURVEYED DATE 26/04/2019
 CONTRACTORS ARE TO CHECK ALL LEVELS AND DIMENSIONS BEFORE WORK IS PUT IN HAND AND ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECTS.
 THIS DRAWING IS SUBJECT TO THE COPYRIGHT OF REIGATE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF REIGATE ARCHITECTS
 THE PURPOSE OF THIS DRAWING IS PLANNING

DRAFT

REV	DATE	DESCRIPTION	DWN	CHKD
P01	20/12/19	Planning Application Issued	C L	S W
P02	10/01/20	Planning amendments	C L	S W
P03	21/04/20	Detail through access road retaining wall amended	C L	S W

REIGATE ARCHITECTS

24 HOLMESDALE RD REIGATE SURREY
 RH2 0BQ 01737 243540

INFO@REIGATEARCHITECTS.CO.UK

CLIENT

JOB
 LAND ADJACENT TO
 122 BRAMBLETYE PARK RD
 RH1 6EJ

TITLE
 PROPOSED
 ELEVATIONS (1)

SCALE 1:100@A1 1:200@A3 DATE 20/12/2019	DRAWING NO. 1710-07	REV P03
---	------------------------	------------

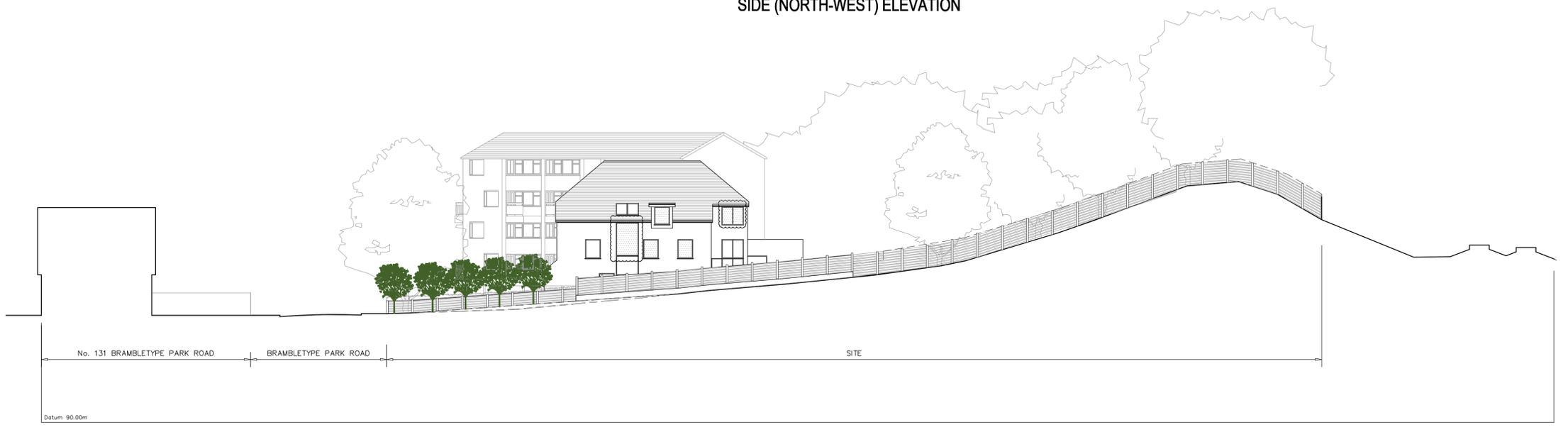
STATUS



REAR (NORTH-EAST) ELEVATION



SIDE (NORTH-WEST) ELEVATION



SIDE (SOUTH-EAST) ELEVATION

NOTES
 SURVEYED DATE 26/04/2019
 CONTRACTORS ARE TO CHECK ALL LEVELS AND DIMENSIONS BEFORE WORK IS PUT IN HAND AND ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECTS.
 THIS DRAWING IS SUBJECT TO THE COPYRIGHT OF REIGATE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF REIGATE ARCHITECTS
 THE PURPOSE OF THIS DRAWING IS PLANNING

REV	DATE	DESCRIPTION	DWN	CHKD
P01	20/12/19	Planning Application Issued	C.L	S.W
P02	10/01/20	Planning amendments	C.L	S.W
P03	21/04/20	Obscure glazing added on South-East elevation Detail through access road retaining wall amended	C.L	S.W



24 HOLMESDALE RD REIGATE SURREY
 RH2 0BQ 01737 243540

INFO@REIGATEARCHITECTS.CO.UK

CLIENT

JOB
 LAND ADJACENT TO
 122 BRAMBLETYPE PARK RD
 RH1 6EJ

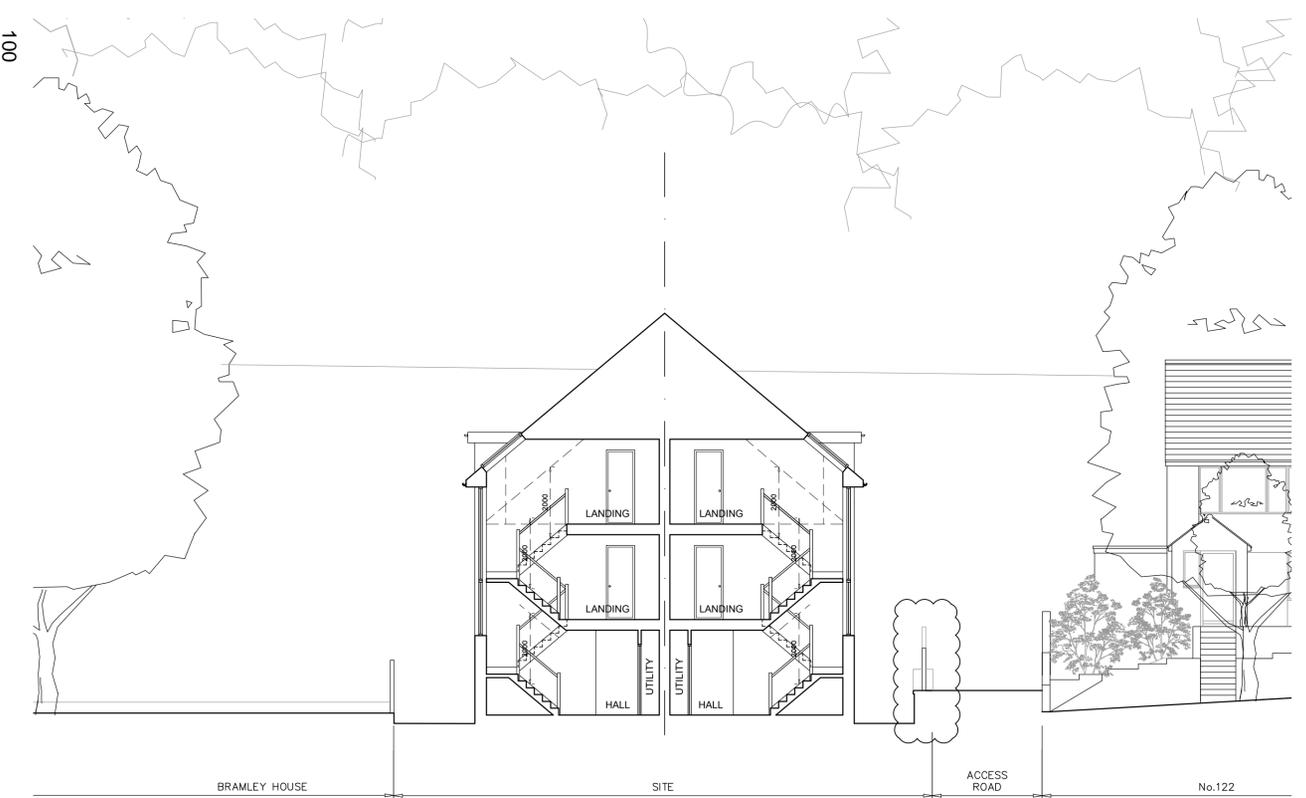
TITLE
 PROPOSED
 SITE ELEVATIONS (2)

SCALE 1:200@A1 1:400@A3 DATE 20/12/2019	DRAWING NO. 1710-10	REV P03
---	-------------------------------	-------------------

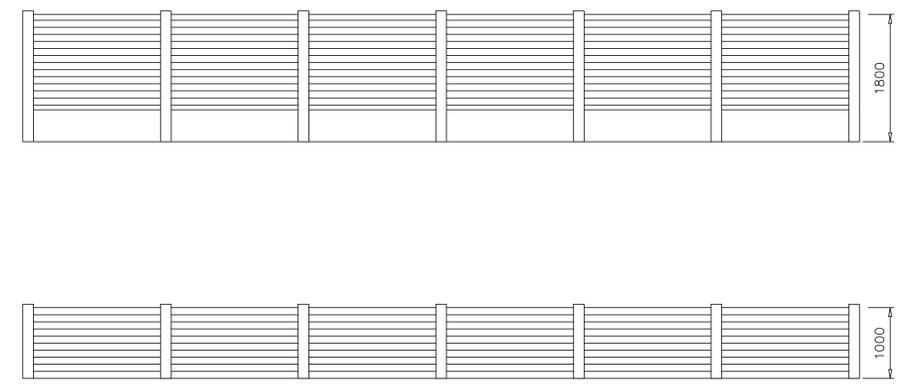
STATUS



SECTION 1-1



SECTION 2-2



TYPICAL ELEVATION OF 1.8m HIGH CLOSE BOARDED TIMBER BOUNDARY FENCES
 SCALE 1:50 @ A1

NOTES
 SURVEYED DATE 28/04/2019
 CONTRACTORS ARE TO CHECK ALL LEVELS AND DIMENSIONS BEFORE WORK IS PUT IN HAND AND ANY DISCREPANCIES ARE TO BE REFERRED TO THE ARCHITECTS.
 THIS DRAWING IS SUBJECT TO THE COPYRIGHT OF REIGATE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF REIGATE ARCHITECTS
 THE PURPOSE OF THIS DRAWING IS PLANNING

DRAFT

REV	DATE	DESCRIPTION	DWN	CHKD
P01	20/12/19	Planning Application Issued	C.L	S.W
P02	21/04/20	Detail through access road retaining wall amended	C.L	S.W

REIGATE ARCHITECTS

24 HOLMESDALE RD REIGATE SURREY
 RH2 0BQ 01737 243540

INFO@REIGATEARCHITECTS.CO.UK

CLIENT

JOB
 LAND ADJACENT TO
 122 BRAMBLETYE PARK RD
 RH1 6EJ

TITLE
 PROPOSED
 SECTIONS

SCALE 1:100@A1 1:200@A3	DATE 20/12/2019	DRAWING NO. 1710-11	REV P02
-------------------------------	--------------------	------------------------	------------

STATUS

Agenda Item 8

Planning Committee
02 September 2020

Agenda Item: 8
20/01236/F

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE	
	DATE:	02 September 2020	
	REPORT OF:	HEAD OF PLANNING	
	AUTHOR:	Matthew Holdsworth	
	TELEPHONE:	01737 276752	
	EMAIL:	Matthew.Holdsworth@reigate-banstead.gov.uk	
AGENDA ITEM:	8	WARD:	Redhill West and Wray Common

APPLICATION NUMBER:	20/01236/F	VALID:	25 June 2020
APPLICANT:	Royal Alexandra and Albert School	AGENT:	NTR Planning
LOCATION:	THE ROYAL ALEXANDRA AND ALBERT SCHOOL, GATTON PARK, ROCKY LANE, REIGATE		
DESCRIPTION:	Retention of temporary classrooms and boarding accommodation.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is referred to Committee in accordance with the Constitution as the proposal is for the retention of buildings greater than 1,000sqm.

SUMMARY

This is a full application for the retention of 6 temporary buildings at the Royal Alexandra and Albert School for a period of up to five years. They were previously granted temporary permission under 11/00313/F and 14/00859/F although these permissions have now expired. The temporary buildings are used for both educational facilities, including science labs and boarding accommodation.

The school have provided a statement of need for the further retention of these buildings due to the pupil numbers, the need for further boarding accommodation and the ongoing need for greater separation due to the ongoing COVID pandemic.

Whilst it is noted that the buildings themselves are utilitarian in nature, and within various heritage designations, their position on previously developed land and within the built form of the school means that the impact on both heritage assets, the Surrey Hills AONB and the metropolitan green belt are minimised.

It is accepted that there is an educational need for the buildings and along with the minimal harm to the heritage and countryside designations, the proposal is therefore considered acceptable for a further extension to the temporary permission for 5 years.

Agenda Item 8

Planning Committee
02 September 2020

Agenda Item: 8
20/01236/F

RECOMMENDATION

Planning permission is GRANTED subject to conditions.

Consultations:

Surrey Hills AONB officer: Four of the buildings are single storey, and one is two storeys. All have flat roofs. Although they are functional, unattractive and temporary looking buildings I do not consider their retention would harm the AONB because they are within the intensively developed part of the school and well screened from outside views. It would seem the educational case for their retention also needs to be taken into account. Also, the school are unlikely to wish to retain such buildings in the longer term. I therefore do not have an AONB concern.

Conservation Officer: The proposals affect the registered park and garden, and the setting and approach to the various listed buildings and their curtilage structures. Concern has been raised about the length of time that these buildings have been in situ and concerns raised in terms of their screening and colour.

SCC Archaeological Officer: As the proposals do not involve any new ground disturbance, I have no archaeological concerns in this case.

Historic Gardens Trust: Wished to make no comment.

Representations:

Letters were sent to neighbouring properties on 03 July 2020. A site notice was posted on 07 July 2020. No representations from local residents have been received.

1.0 Site and Character Appraisal

- 1.1 The Royal Alexandra & Albert School is a non-denominational voluntary aided school, located on the escarpment of the North Downs, accessed from Rocky Lane. It is a boarding school, but also caters for day pupils and "day boarders" (pupils who work an extended school day but return home each evening). The site lies within the Metropolitan Green Belt, the Surrey Hills Area of Outstanding Natural Beauty and an Area of Great Landscape Value.
- 1.2 The school occupies land and buildings forming part of Gatton Park, listed as Grade II on the English Heritage Register of Parks and Gardens of Special Historic Interest with the parkland originally laid out by Capability Brown. The building complex includes a number of listed buildings, including Gatton Hall, which was rebuilt in 1934 following the original building being gutted by fire.
- 1.3 The southern part of the Park is designated as a Site of Nature Conservation Importance. Along the northern and southern boundaries of the Park are areas of Ancient Woodland. To the west, on land owned by the National Trust, is a Site of Special Scientific Interest designated for its rare chalkland flora.
- 1.4 The character of the site is unique, with the complex of school buildings clustered in a large group on the ridge of the North Downs, surrounded by historic parkland and open countryside, with fine views southwards. The southern part of Gatton Park best displays the C18th landscape setting with open parkland sweeping down to a series of lakes, trees and woodland. To

Agenda Item 8

Planning Committee
02 September 2020

Agenda Item: 8
20/01236/F

the north of the school buildings is more informal grassland, rising to higher ground in the north-western corner of the grounds on which stands Tower Wood, an area of Ancient Woodland. The grassland is partly used as formal playing pitches used by the school, and partly as grazing land.

- 1.5 Beyond Gatton Bottom, which skirts the northern boundary of the school grounds, lies further farmland and the M25 motorway running on an embankment. East and west of the site lies open countryside. To the south lies Redhill.
- 1.6 The temporary buildings proposed to be retained are in the following locations on the site:
 - Single storey building to the rear of Gloucester Boarding House.
 - Two storey classroom building, and single storey classroom building located to the rear of the dining hall
 - Two portacabins located within the maintenance area of the school, adjacent to the mini roundabout by the main car park.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: None was requested
- 2.2 Control is provided by the imposition of a further temporary consent together with an informative to encourage screening options and a permanent solution, as may be needed.

3.0 Relevant Planning and Enforcement History

- 3.1 20/00864/S73 - Installation of ground and water source heat pumps, with associated boreholes and trench lines to existing School and Boarding house buildings. Variation of condition 1 of permission 20/00107/F to confirm the location, plan and elevations of two plant room enclosures required in association with the main scheme ground and water source heat pumps – approved with conditions.
- 3.2 20/00107/F - Installation of ground and water source heat pumps, with associated boreholes and trench lines to existing School and Boarding house buildings - approved with conditions
- 3.3 19/02310/S73 - Pilot ground and water source heat pumps, with associated boreholes and trenches to existing Boarding Houses. Variation of condition 1 of permission 19/01829/F. Amendment to approved plans - approved with conditions.
- 3.4 19/01829/F - Pilot ground and water source heat pumps, with associated boreholes and trenches to existing Boarding Houses - approved with conditions
- 3.5 17/00861/LBC - Proposed internal alterations to Gatton Hall which is an existing boarding house. As amended on 25/05/2017 and on 11/04/2017. - Approved with conditions

- 3.6 16/01205/LBC - Proposed reduction to the height of a "kitchen" garden wall and provision of three brick piers to stabilise the structure - Approved with conditions
- 3.7 15/01932/F Proposed remodelling of levels both to existing pitches and to provide new sports playing areas and related facilities. Provision of floodlighting to one pitch adjacent to existing floodlit area. Withdrawn by applicant
- 3.8 14/00859/F Erection of temporary boarding accommodation (attached to Gloucester House). Approved with conditions
- 3.9 13/00885/F Formation of berm/raised bank to stabilise part of embankment to main lake. - Approved with conditions
- 3.10 11/00840/F Erection of two storey annexes to Albert and Elizabeth boarding houses. - Approved with conditions
- 3.11 11/00313/F Erection of 4 temporary buildings to provide 6 temporary classrooms. - Approved with conditions
- 3.12 11/00261/F Variation of planning permission 06/02202/F, condition No:1 to allow the increase in pupil numbers enrolled at the school at any one time from a maximum of 950 to 1100 pupils. Approved with conditions
- 3.13 09/01346/LBC - The reduction in height of an existing curtilage listed wall. Approved with condition

4.0 Proposal and Design Approach

- 4.1 The proposals are for the retention of a number of portacabins and temporary buildings around the main school site of the Royal Alexandra and Albert School.
- 4.2 The size of the buildings to be retained are as follows:
 - Temporary Classroom Building type A x 2 156m²
 - Temporary Classroom Building type B 312m²
 - Temporary Classroom Building type C 156m²
 - Temporary Boarding House Building type D 391m
- 4.3 These buildings are all of a modular / portacabin style and are largely single storey with the exception of one, two storey classroom block.
- 4.4 Circular 01/06 confirms that a design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:

Agenda Item 8

Planning Committee
02 September 2020

Agenda Item: 8
20/01236/F

- Assessment;
- Involvement;
- Evaluation; and
- Design.

4.5 Evidence of the applicant's design approach is set out below:

Assessment	<p>The retention of the temporary accommodation is required to continue to provide sufficient teaching space to accommodate existing students, including foundationers.[These are pupils who would benefit from a boarding education and whose parents or guardians are unable to afford such boarding charges.]</p> <p>The retention of the additional space enables the accommodation of an on-site sixth form, a laboratory and associated boarding facilities, all of which are still required</p>
Involvement	No community consultation took place.
Evaluation	The statement does not include any evidence of other development options being considered.
Design	No details of the design were submitted as the proposal is for the retention of existing buildings.

5.0 Policy Context

5.1 Designation

Metropolitan Green Belt
Area of Outstanding Natural Beauty
Historic Garden
In the curtilage of Grade II listed building
Adjacent to grade II* building (Gatton Town Hall)

5.2 Reigate and Banstead Core Strategy

CS1 (Sustainable Development)
CS3 (Green Belt)
CS4 (Valued Townscapes and Historic Environment)
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
INF2 (Community Facilities).

5.3 Reigate & Banstead Development Management Plan 2019

Design, Character, and amenity DES1

Protecting the natural and historic environment

NHE1, NHE5, NHE9

5.4. Other Material Considerations

National Planning Policy Framework

National Planning Policy Guidance

Supplementary Planning Guidance

Surrey Design

Local Distinctiveness Design Guide

Other

Human Rights Act 1998

6.0 **Assessment**

6.1 The main issues to consider are:

- Need for the retention of the development
- Impact on the green belt and AONB
- Impact on the historic heritage

Need for the retention of the development

6.2 Planning permission was granted on 20/05/2011 for the erection of 4 temporary buildings to provide 6 temporary classrooms (permission was also granted for an increase in pupil numbers on this date – ref. 11/00261/F). This had a condition that required the removal of the temporary classrooms by September 2015 unless otherwise agreed by the local planning authority.

6.3 In June 2012, planning permission was granted for a first-floor extension to the temporary classroom buildings. This permission was subject to a condition requiring the classrooms to be removed by September 2015 (P/12/00790/F). The extension was required in order to enable the creation of a laboratory facility, which remains in situ.

6.4 In June 2014 planning permission was granted for the erection of temporary boarding accommodation (attached to Gloucester House – permission ref. 14/00859/F). Gloucester House was previously named Albert House and the temporary accommodation was required to take up boarding accommodation following the inability to build annexes to Albert and Elizabeth House. This permission was granted subject to a condition requiring the temporary building to be removed by 31st July 2016.

6.5 The proposal is to retain all these buildings for a period of 5 years from the date of permission.

6.6 The applicants have provided a statement of need as to why these buildings are still required over the next five years. These have been broken down as follows in the applicant's submission:

Agenda Item 8

Planning Committee
02 September 2020

Agenda Item: 8
20/01236/F

- 6.7 “Temporary Boarding Accommodation: The school needs to house the circa 500 + boarders plus beds for our 550 flexi boarders that we expect to have on the roll. The school takes the provision of suitable accommodation seriously to ensure that children who can be from very vulnerable homes and/or a long way away from home have comfortable and welcoming surroundings. The current permanent building footprint does not support the provision for all students segregated by gender. There is a requirement to maintain the temporary accommodation. It has not been possible to build additional annexes to either Albert or Elizabeth House due to lack of space. In order to prepare the 6th form pupils for university there is a slightly different offering, segregating the 6th form from the younger pupils. Without the temporary accommodation the school would not be in a position to offer this segregation.”
- 6.8 “Temporary Classrooms – The school is a large school, currently expecting to have circa 1100 pupils in September 2021 (excluding any COVID-19 restrictions). The school recently extended its educational provision to include a 6th form allowing students to complete their secondary education in a single setting. All current class rooms including the temporary provision have a greater than 90% occupancy rate. Each teacher has a classroom which is personalised to support the subject and year group thought. Teaching periods are 29 out of 34 periods a week with the other periods being used for prep within the classroom. The school does not have sufficient building space without the use of the temporary classrooms, so their existence remains essential in order to support the level of teaching at the school, some that is in smaller class groups due where there are pupils needing greater help. It has been particularly beneficial to be able to create a full size laboratory in one classroom for example.”
- 6.9 In addition, the school have stated that: “We have been instrumental in supporting vulnerable pupils and children of keyworks throughout the pandemic to date. We stayed open during half term and Easter holidays, going above and beyond what was required. There are an inordinate number of pressures on us to open for September amid the Covid Pandemic. One key principle of course is social distancing and therefore space. We have a comprehensive risk assessment that say we will be able to operate with full student capacity given the physical footprint we have at present. If there were to be constraints and our temporary classrooms and boarding accommodation taken away, then that would jeopardise our ability to provide a safe environment.”
- 6.10 It is considered therefore that there is a justified need for the buildings to remain on site for a period of five years. The school have stated in their documents submitted that they wish to develop a more permanent solution over the next five years with planning applications to follow in due course. A condition will be added to the permission allowing the buildings to remain from five years of the date of permission.

Impact on the Metropolitan Green Belt and the Surrey Hills AONB

6.11 The National Planning Policy Framework (NPPF) sets out the essential characteristics of the Green Belt, namely its openness and permanence. It confirms that inappropriate development is, by definition, harmful to the Green Belt. At paragraph 145, the framework confirms that local authorities should regard the construction of new buildings as inappropriate development in the Green Belt, with certain specified exceptions. One of these exceptions is:

“Limited infilling or the partial or complete redevelopment of previously developed land, whether redundant or in continued use (excluding temporary buildings) which would;
- not have a greater impact on the openness of the Green Belt than the existing development; or.....”

6.12 The applicant considers that the proposal is appropriate development as the proposal would comply with the exception above. The buildings, whilst temporary in nature, have been on the site for more than 5 years and are generally situated within the existing built layout and between existing buildings. Furthermore, they were all built on existing hardstanding areas.

6.13 Even if the Council did not take the view that the proposal was appropriate development within the MGB, it is considered that significant weight must be given to the need for the retained educational facilities as highlighted in paragraphs 6.2-6.10 above.

6.14 The Surrey Hills AONB adviser has been notified of the application and he has stated the following: Four of the buildings are single storey, and one is two storeys. All have flat roofs. Although they are functional, unattractive and temporary looking buildings I do not consider their retention would harm the AONB because they are within the intensively developed part of the school and well screened from outside views. It would seem the educational case for their retention also needs to be taken into account. Also, the school are unlikely to wish to retain such buildings in the longer term. Therefore the Surrey Hills AONB advisor does not raise a AONB concern.

6.15 It is considered therefore that the proposal complies with both local and national policies relating to the metropolitan green belt and the Surrey Hills AONB.

Impact on the historic heritage

6.16 The site has a number of historic designations, including a historic garden designed by Capability Brown, grade II* listed building (Gatton Town Hall), grade II listed building (Gatton Hall) and within an area of high archaeological potential.

6.17 The Surrey County Council Archaeological Officer has been consulted and he has raised no objections from an archaeological perspective as there would be no new ground disturbance.

Agenda Item 8

Planning Committee
02 September 2020

Agenda Item: 8
20/01236/F

- 6.18 It is noted that the conservation officer has raised concerns about the impact of the retained buildings on the registered park and garden, as well as the setting and approach to the various listed buildings and their curtilage structures.
- 6.19 The conservation officer requested if there were any mitigations that could be agreed by condition in relation to the setting of the portacabins, including painting the portacabins or enhanced landscaping. However, following discussions with the school and the conservation officer, these were not considered practical at this time for temporary buildings. In addition, the majority of the buildings are well shielded from public view and from the listed buildings by the existing school buildings. Nevertheless, it is considered pertinent to add an informative suggesting that the portacabins could be screened or painted.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Location Plan	UNNUMBERED		25.06.2020
Site Layout Plan	2875S001		17.06.2020
Location Plan	2875S001		17.06.2020
Floor Plan	HD/7585/03	B	17.06.2020
Proposed Plans	HD/9254/04		17.06.2020
Floor Plan	HD/7585/03	B	17.06.2020
Proposed Plans	HD/9524/02		17.06.2020
Floor Plan	HD/7585/06	A	17.06.2020
Proposed Plans	HD/9524/04		17.06.2020
Proposed Plans	HD/9524/01		17.06.2020
Proposed Plans	HD/7585/04		17.06.2020

2. The temporary classrooms and boarding permission hereby permitted shall be removed by five years from the date of this permission and the land restored to its former condition, unless otherwise agreed in writing by the Local Planning Authority.

Agenda Item 8

Planning Committee
02 September 2020

Agenda Item: 8
20/01236/F

Reason: In the interests of the visual amenity of the locality and the impact on the Metropolitan Green belt and heritage assets and to allow the school to consider an appropriately designed permanent replacement, in accordance with Reigate and Banstead Development Management Plan policies DES1, NHE1, NHE3, and NHE9.

Agenda Item 8

Planning Committee
02 September 2020

Agenda Item: 8
20/01236/F

INFORMATIVE

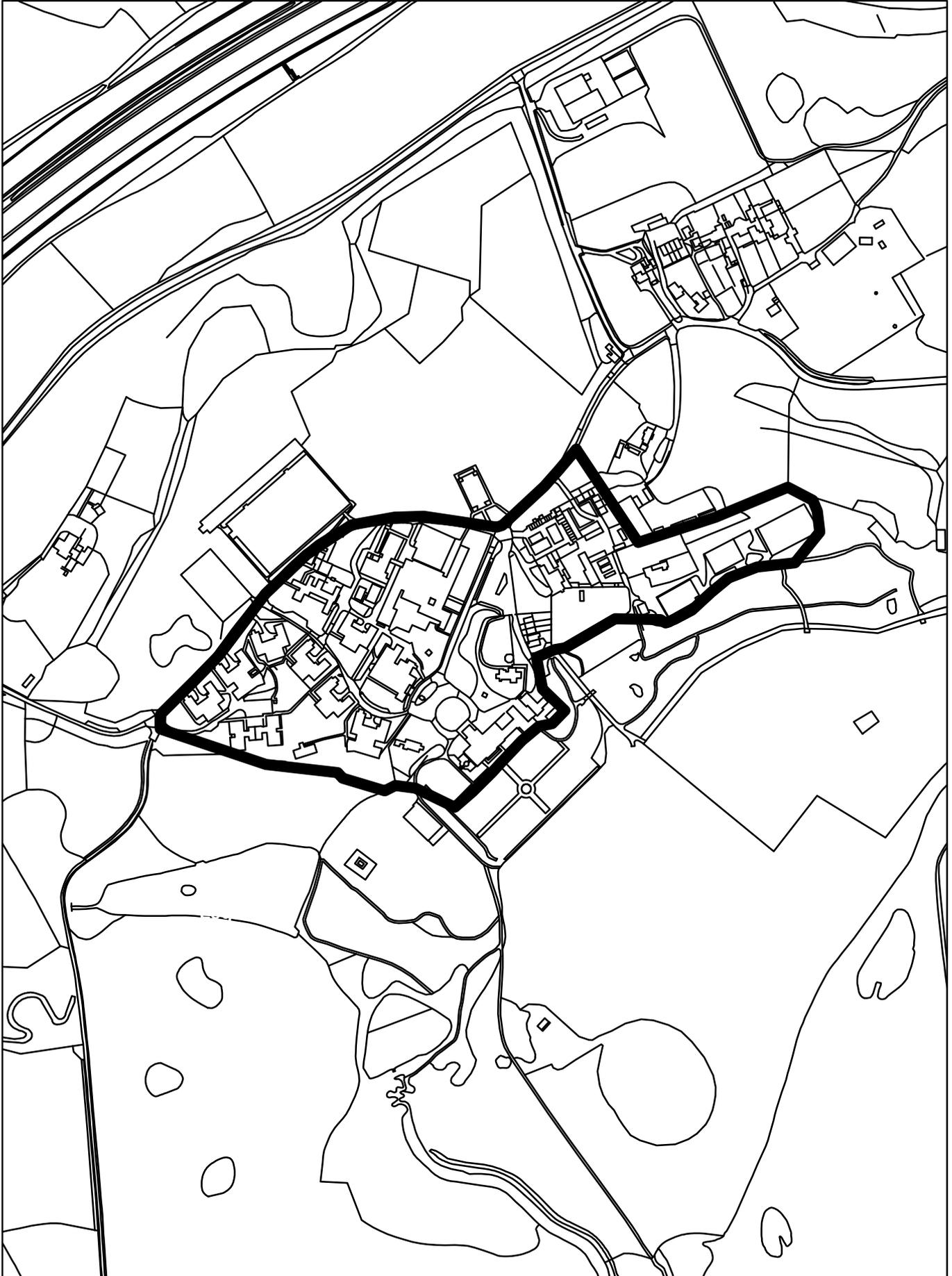
1. The applicant is advised to explore options for screening the buildings with soft landscaping or painting the buildings to minimise the impact on the heritage assets together with a longer term permanent solution as may be required.

REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies DES1, INF2, NHE1, NHE3, NHE9, and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

20/01236/F - The Royal Alexandra And Albert School,
Gatton Park, Rocky Lane, Reigate



A
B
C
D
E
F
G
H
J
K
L
M

Agenda Item 8a
C
D
E
F
G
H
J
K
M



- KEY**
- SITE BOUNDARY
 - BOUNDARY OF ALL OTHER LAND OWNED BY APPLICANT
- KEY: TEMPORARY BUILDINGS**
- TYPE A = SINGLE STOREY SINGLE CLASSROOM
 - TYPE B = TWO STOREY DOUBLE CLASSROOM
 - TYPE C = SINGLE STOREY DOUBLE CLASSROOM
 - TYPE D = SINGLE STOREY DORM BLOCK

Note
Do not scale from this drawing
All dimensions to be checked on site.
Report any discrepancies to the Architect.
The property of this drawing is vested in Barnsley Hewett & Mallinson Ltd and must not be copied or reproduced in any way without their written consent.
© BHM Architects Ltd

2875S001	Sheet No. 1/1
Project ROYAL ALEXANDRA & ALBERT SCHOOL GATTON HALL	Scale 1:1250 @A1
Document type SITE LOCATION PLAN	Date MAY 2020
Title TEMPORARY BUILDINGS	Drawn by LCM
	Approved by MLH

BH & M

Barnsley Hewett & Mallinson

Unit P05,
Old Power Station,
121 Mortlake High Street,
London,
SW14 8SN

Tel. 0208 878 4067
E-mail. mail@bhmanarchitects.com
Web. www.bhmanarchitects.com

276

Portakabin

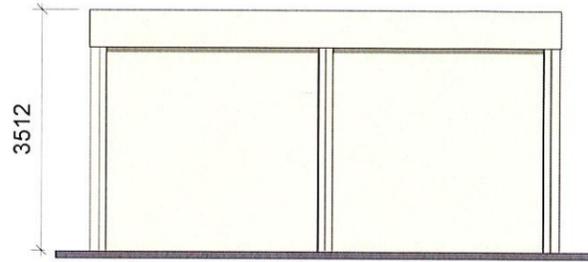
Quality - this time - next time - every time



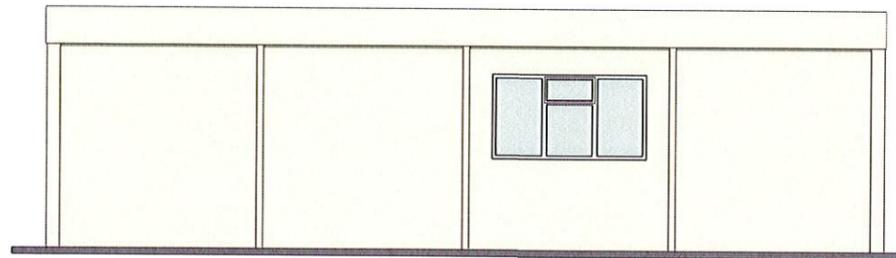
Standard floor loading is 3kN/m². Any loading imposed on a floor that is greater than 3kN/m² may require strengthening. Please contact your hire centre if you expect to exceed 3kN/m².

Please note that this and any accompanying drawing(s) are for illustrative purposes only and as such, the building shown may vary from the actual finished building on site.

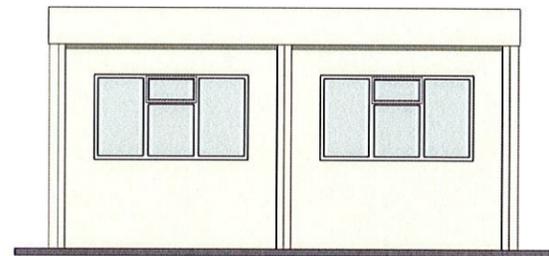
The position of windows, external doors and electrical fixtures (if shown) are dependent on stock availability at time of order.



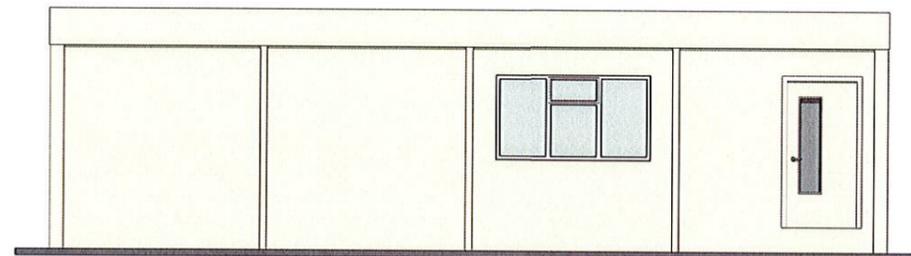
2 Side Elevation
1 : 100



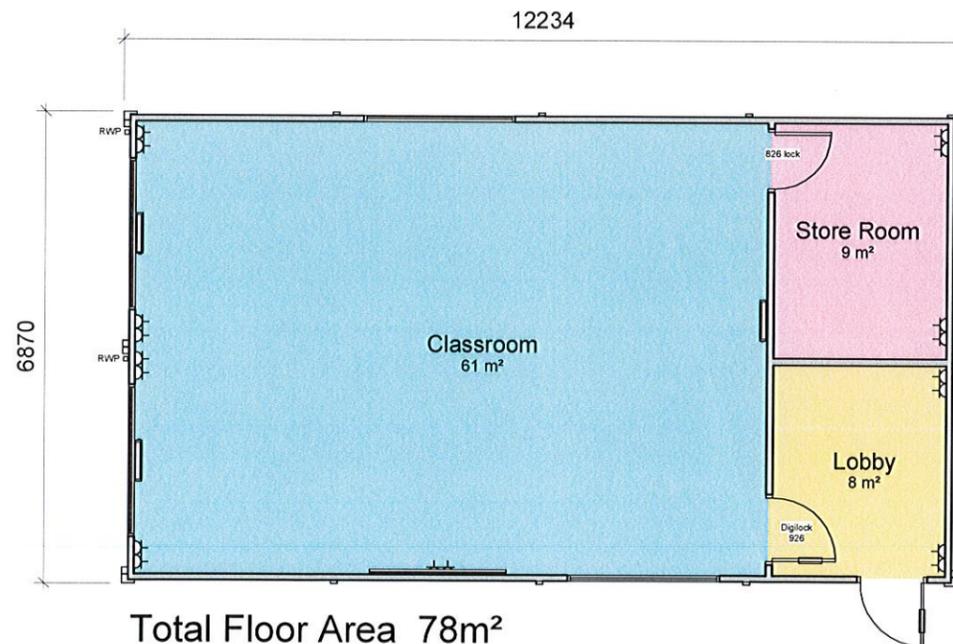
3 Rear Elevation
1 : 100



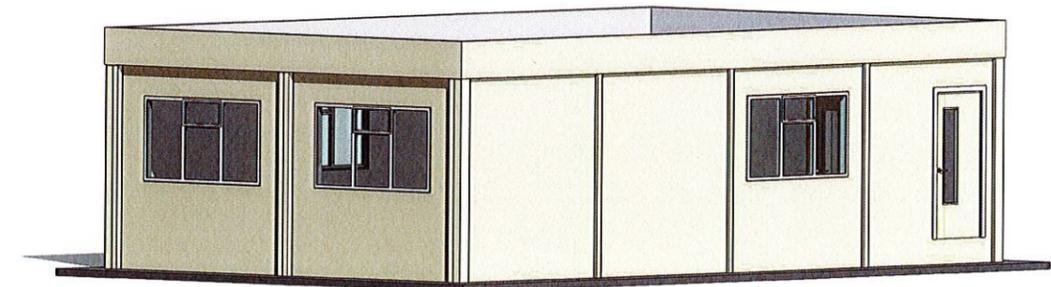
4 Side Elevation
1 : 100



5 Front Elevation
1 : 100



1 Layout
1 : 100



6 3D Illustration

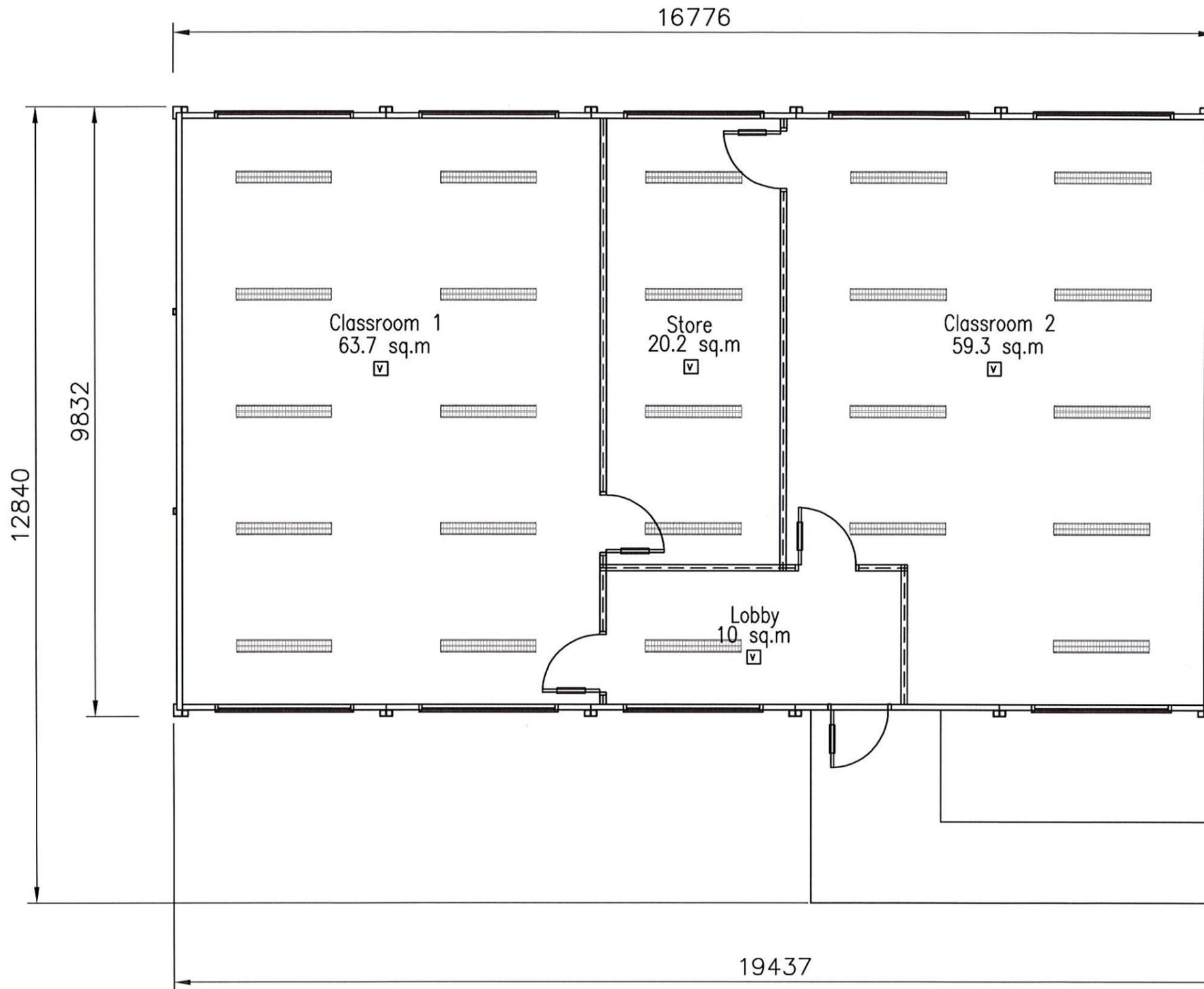
NOTES

1. Lighting to classrooms LG3 compliant - Category 2 fittings
2. 5no double sockets in each classroom
3. Painted perimeter trunking
4. 30 hat and coat hooks in building
5. Partition to be half hour fire resistant trims to be pre-vinylted
6. Standard 2mm polyfloor vinyl flint grey
7. 2no 225 diameter extractor fans to classroom
8. External colour to be 'Honesty' plastisol
9. Vision Panels to doors DDA compliant
10. 2.6m internal ceiling height
11. PVC-U Windows - Type Y3
12. Flat fascia

TYPE 'A'

Rev	Revision Description	Date	By
Project Name Single Classroom Block			
Client Name -			
Sheet Name Plan & Elevations - Single Classroom Block - 2 x UK123			
Date 2013	Scale 1 : 100 @ A3		
Drawing Number HD/9254/04	Rev.	Drawn by CS	

Do not scale off this drawing. All discrepancies to be reported to Portakabin Limited.



- 10 x 2 kW wall mounted heaters in layout
- 20 x double sockets in layout
- All room sizes & dimensions are indicative only

N.B. Electrical layout indicative only, final positions may differ

Standard floor loading is 3kN/m²
Any loading imposed on a floor that is greater than this requires strengthening. Please contact your local hire centre if you expect to exceed 3kN/m²

Floor Finishes:

- Pa** Polysafe slip-resistant vinyl sheet flooring
- V** Polyflor vinyl sheet flooring
- C** Carpet tile
- Bm** Barrier matting
- Mechanical ventilation
- 1500mm fluorescent light fitting
- 100W internal bulkhead light
- 2kW wall mounted convector heater
- 2kW high level fan heater
- 13amp single socket outlet
- 13amp double socket outlet
- Consumer unit (suggested position)
- Partition
- Acoustic partition

N.B. Covered staircase may be required following building control inspection

Total Floor Area 155.83m²

TYPE 'B'
Ground + First Floor Plans.

B Store partition removed, 21.06.12 LDT
A VP's & window added
Staircase covered 25.04.12 MRB

Project First Floor Classroom		
Client Royal Alexandra & Albert School		
Title	Date	Drawn
Proposed Layout 5 x UK093 Ultima modules	03.04.12	BME
	Scale 1:75 @ A3	
Drg. No.	Rev.	
HD/7585/03	B	



Portakabin Limited Huntington York YO32 9PT
Telephone 01904 611655 Fax 01904 611644



Quality - this time - next time - every time



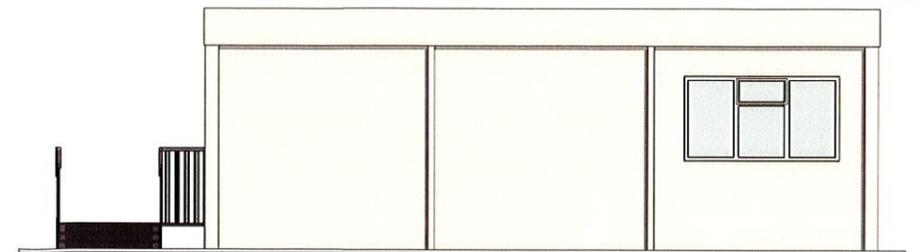
Standard floor loading is 3kN/m². Any loading imposed on a floor that is greater than 3kN/m² may require strengthening. Please contact your hire centre if you expect to exceed 3kN/m².

Please note that this and any accompanying drawing(s) are for illustrative purposes only and as such, the building shown may vary from the actual finished building on site.

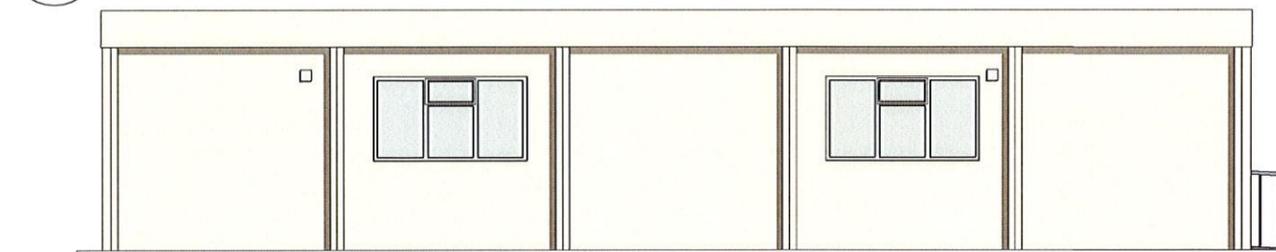
The position of windows, external doors and electrical fixtures (if shown) are dependent on stock availability at time of order.



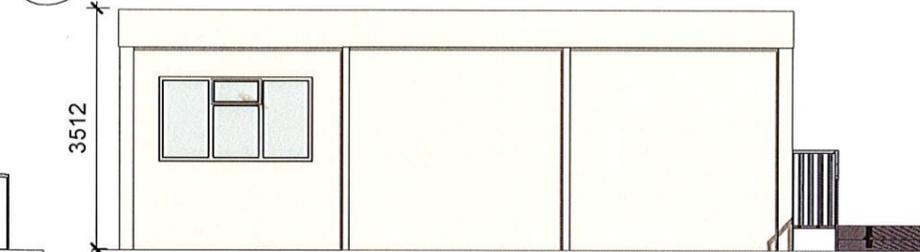
2 Front Elevation
1 : 100



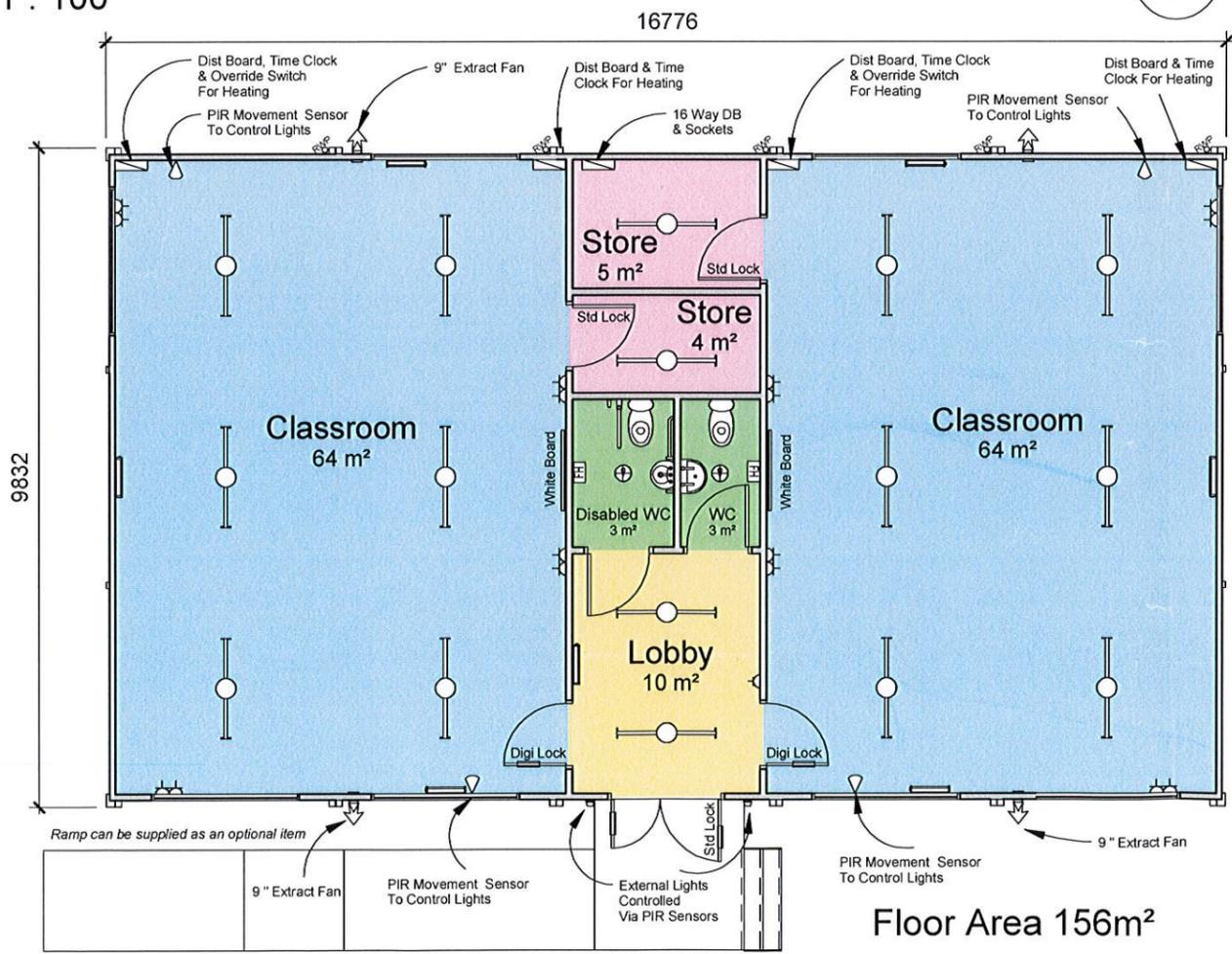
3 Right Elevation
1 : 100



4 Rear Elevation
1 : 100



5 Left Elevation
1 : 100



Floor Area 156m²

N.B. ramp shown assumes building finished floor level is at maximum 450mm above ground level, and has 1:15 criteria in accordance with Part M of the building regulations (DDA)

1 Plan Layout
1 : 100

Notes

1. Windows - white UPVC double glazed 2250 x 1250 - 2 Nr side opening and 1 Nr top opening. All to be fitted with locks and restrictors.
2. Steel External double doors with standard lock, fitted with white UPVC vision panels and 2 Nr and finger guards.
3. 2mm Flint grey polyfloor vinyl with polyurethen coating.
4. Internal doors to be American White Oak with finger guards. Classroom doors 926mm for disabled access, 3 Nr vision panels and kickplates fitted.
5. Each classroom to have whiteboards (2000mm x 1200mm).
6. Classroom lighting to be operated by PIR detectors, with manual override available. Note 2 Nr external bulkhead lights also PIR controlled.
7. 4 Nr double sockets to each classroom, 1 Nr single socket to lobby.
8. 2 Nr 9" extractor fans in each classroom
9. All partitioning supplied to be half hour fire resistant.
10. Painted skirting board
11. 2 kW wall mounted fan assisted heaters to each classroom, with time clock control.
12. The lighting provided is designed to be Category 3 level. This ensures a good general level of lighting is available to the teaching areas.
13. To ensure minimum running costs, lights in the teaching areas controlled by PIR's, will automatically be turned off 30 minutes after the last person has left the room - please note however that the PIR's can be over-ridden by the teacher and the lights turned off should there be a requirement; eg if the class is watching TV etc.
14. The two extractor fans supplied in each classroom to provide mechanical extract ventilation if required are operated via a wall switch in the classroom.

External Colour Scheme

- Walls - Honesty nearest BS ref 10C31
- All Columns - Honesty nearest BS ref 10C31
- All Trims - Honesty nearest BS ref 10C31
- External Skirt - Honesty nearest BS ref 10C31
- Roof - White nearest BS ref 00E55
- Windows - White nearest BS ref 00E55
- Vision Panels - White nearest BS ref 00E55
- Doors - Honesty nearest BS ref 10C31

TYPE C.

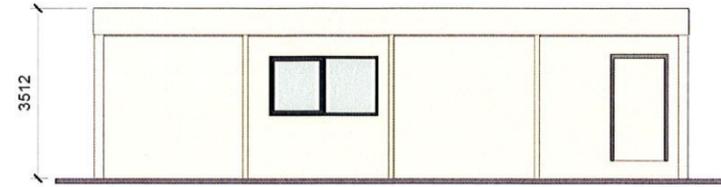
Rev	Revision Description	Date	By
Project Name Double Classroom Block			
Client Name -			
Sheet Name Plan and Elevations - Double Classroom Block with Toilets - 5 x UK093 Ultima Modules			
Date 2013	Scale 1 : 100 @ A3		
Drawing Number HD/9254/02	Rev.	Drawn by CS	

117

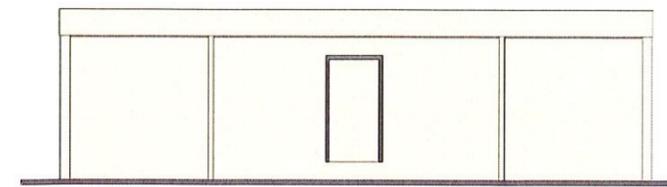
Agenda Item 8

External Colour Scheme

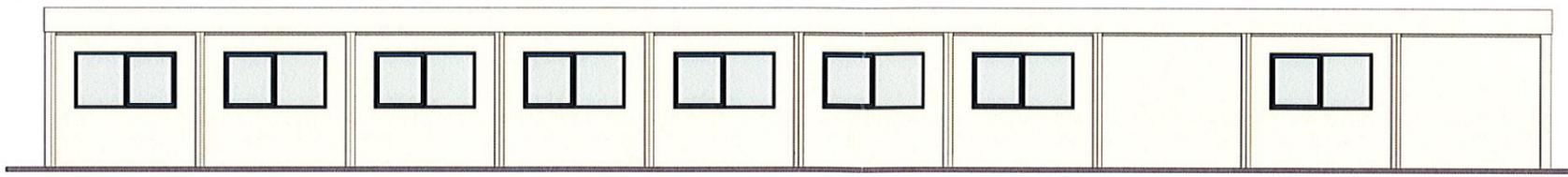
- Walls - Honesty nearest BS ref 10C31
- All Columns - Honesty nearest BS ref 10C31
- All Trims - Honesty nearest BS ref 10C31
- External Skirt - Honesty nearest BS ref 10C31
- Roof - White nearest BS ref 00E55
- Windows - Blue Grey - nearest BS 4800 18 B 29
- Doors - Honesty nearest BS ref 10C31



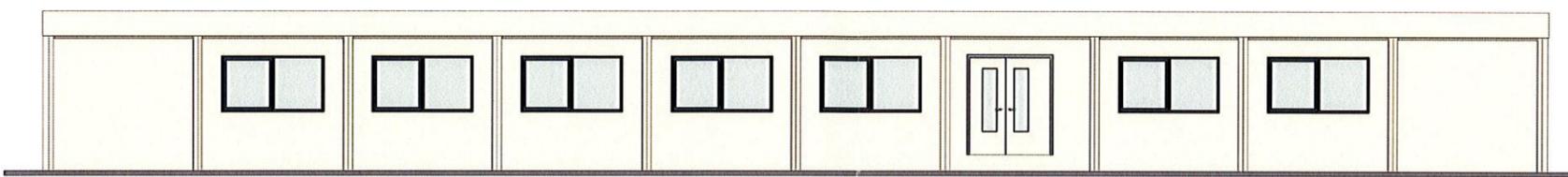
2 East
1 : 100



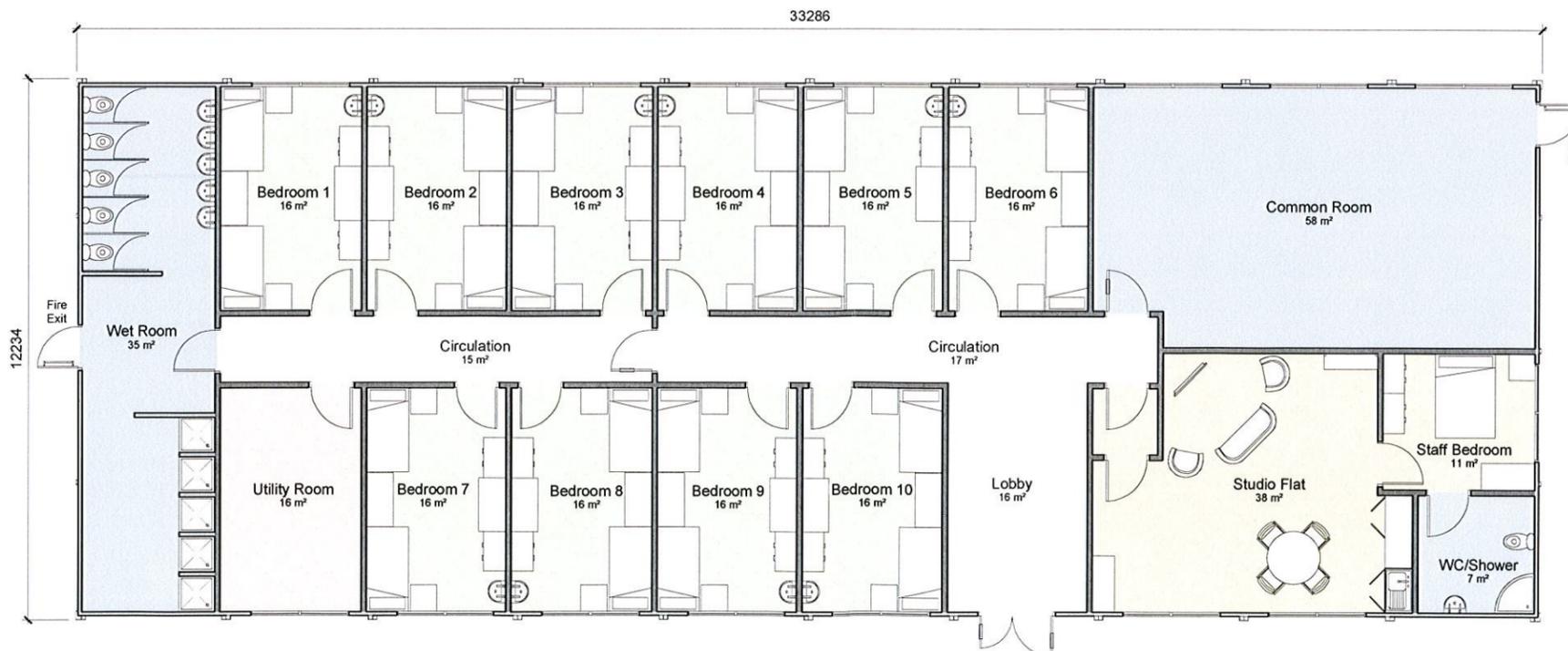
3 West
1 : 100



4 North
1 : 100



5 South
1 : 100



1 Proposed Floorplan (391m²)
1 : 100



Quality - this time - next time - every time



Standard floor loading is 3kN/m². Any loading imposed on a floor that is greater than 3kN/m² may require strengthening. Please contact your fire centre if you expect to exceed 3kN/m².

Please note that this and any accompanying drawing(s) are for illustrative purposes only and as such, the building shown may vary from the actual finished building on site. The position of windows, external doors and electrical fixtures (if shown) are dependent on stock availability at time of order.

Room Schedule		
Name	Area	Floor Finish
Bedroom 1	16 m²	Carpet
Bedroom 2	16 m²	Carpet
Bedroom 3	16 m²	Carpet
Bedroom 4	16 m²	Carpet
Bedroom 5	16 m²	Carpet
Bedroom 6	16 m²	Carpet
Bedroom 7	16 m²	Carpet
Bedroom 8	16 m²	Carpet
Bedroom 9	16 m²	Carpet
Bedroom 10	16 m²	Carpet
Circulation	15 m²	Carpet
Circulation	17 m²	Carpet
Common Room	58 m²	Carpet
Lobby	16 m²	Carpet
Plant	Not Placed	Vinyl
Staff Bedroom	11 m²	Carpet
Studio Flat	38 m²	Carpet
Utility Room	16 m²	Vinyl
WC/Shower	7 m²	Slip Resistant Vinyl
Wet Room	Not Placed	Slip Resistant Vinyl
Wet Room	35 m²	Slip Resistant Vinyl

Floor Finish Schedule	
Floor Finish	Area
Carpet	316 m²
Slip Resistant Vinyl	42 m²
Vinyl	16 m²

TYPE D.

Rev	Revision Description	Date	By
1	2014 Boarding Accommodation	11.04.2014	BME

Project Name: 2014 Boarding Accommodation
Client Name: Royal Alexandra & Albert School
Sheet Name: Proposed Layout - 10 x UK123 Ultima Modules

Date: 11.04.2014 Scale: 1 : 100 @ A2
Drawing Number: HD/7585/06 Rev: A Drawn by: BME



Quality - this time - next time - every time



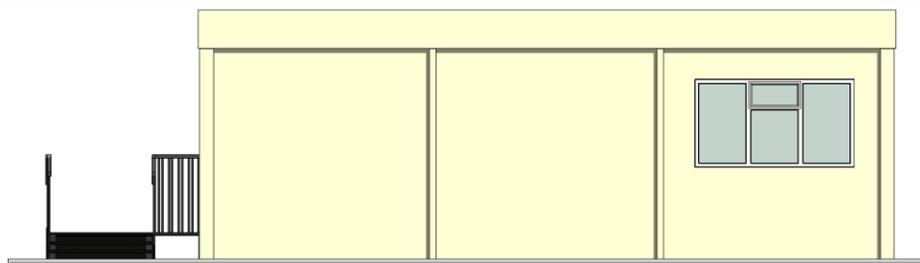
Standard floor loading is 3kN/m². Any loading imposed on a floor that is greater than 3kN/m² may require strengthening. Please contact your hire centre if you expect to exceed 3kN/m².

Please note that this and any accompanying drawing(s) are for illustrative purposes only and as such, the building shown may vary from the actual finished building on site.

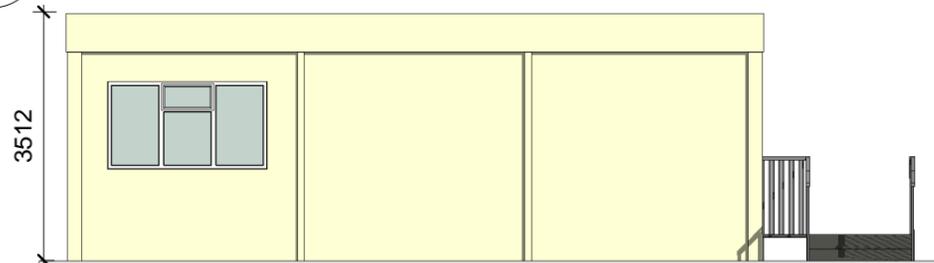
The position of windows, external doors and electrical fixtures (if shown) are dependent on stock availability at time of order.



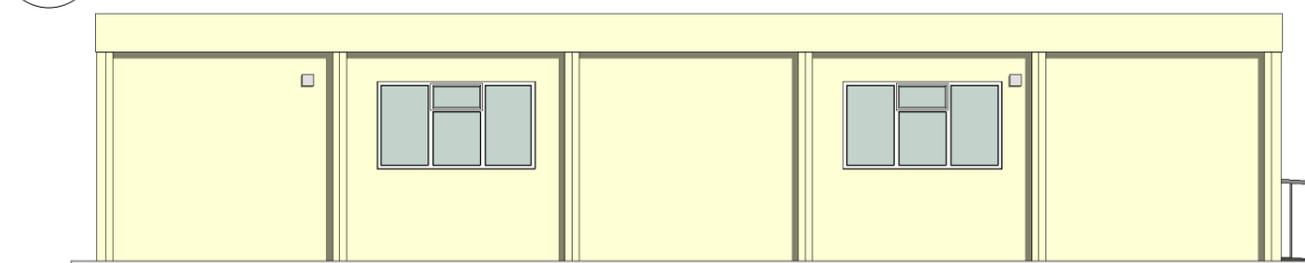
2 Front Elevation
1 : 100



3 Right Elevation
1 : 100

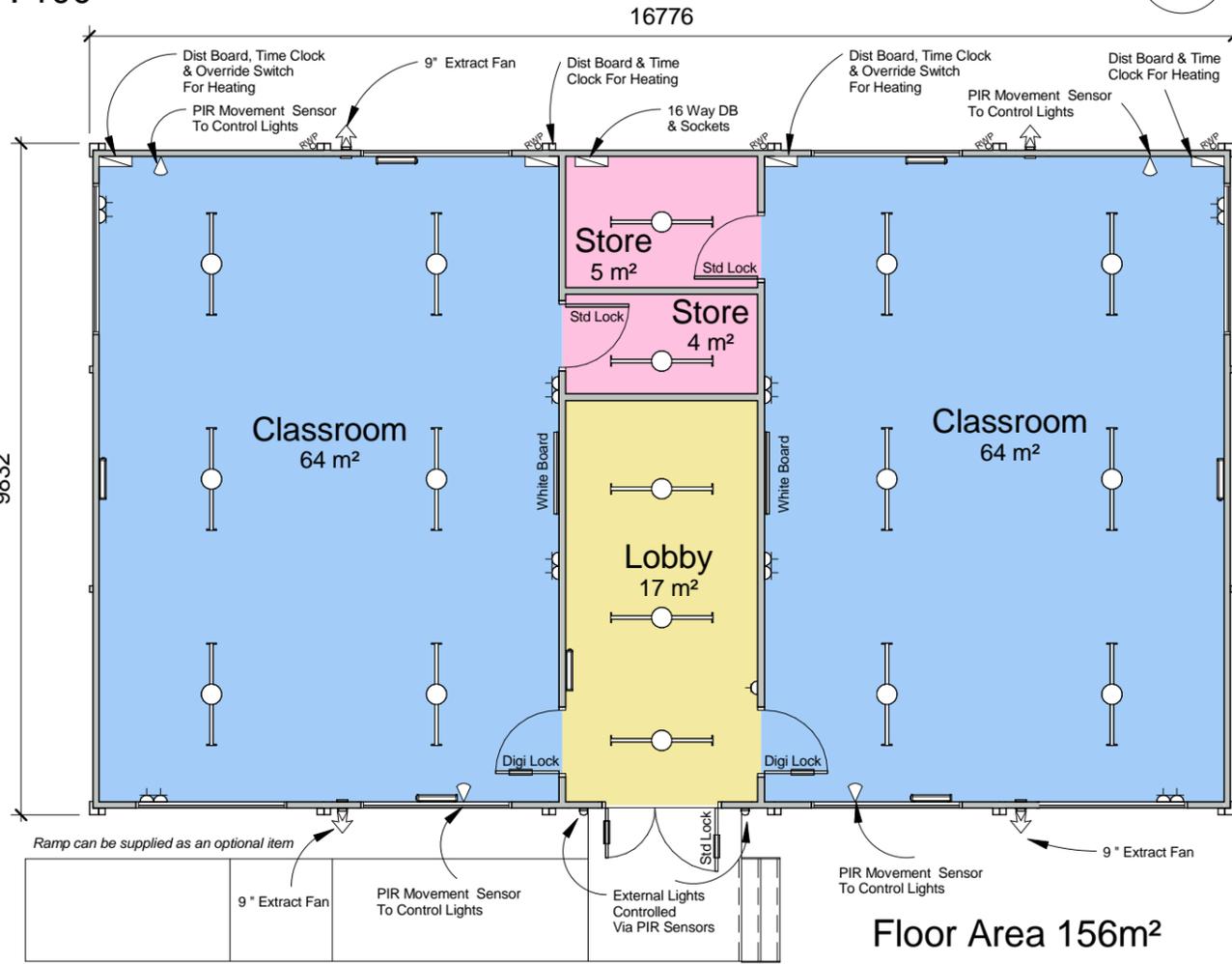


5 Left Elevation
1 : 100



4 Rear Elevation
1 : 100

119



N.B. ramp shown assumes building finished floor level is at maximum 450mm above ground level, and has 1:15 criteria in accordance with Part M of the building regulations (DDA)

1 Plan Layout
1 : 100

Notes

1. Windows - white UPVC double glazed 2250 x 1250 - 2 Nr side opening and 1 Nr top opening. All to be fitted with locks and restrictors.
2. Steel External double doors with standard lock, fitted with white UPVC vision panels and 2 Nr and finger guards.
3. 2mm Flint grey polyfloor vinyl with polyurethen coating.
4. Internal doors to be American White Oak with finger guards. Classroom doors 926mm for disabled access, 3 Nr vision panels and kickplates fitted.
5. Each classroom to have whiteboards (2000mm x 1200mm).
6. Classroom lighting to be operated by PIR detectors, with manual override available. Note 2 Nr external bulkhead lights also PIR controlled.
7. 4 Nr double sockets to each classroom, 1 Nr single socket to lobby.
8. 2 Nr 9" extractor fans in each classroom
9. All partitioning supplied to be half hour fire resistant.
10. Painted skirting board
11. 2 kW wall mounted fan assisted heaters to each classroom, with time clock control.
12. The lighting provided is designed to be Category 3 level. This ensures a good general level of lighting is available to the teaching areas.
13. To ensure minimum running costs, lights in the teaching areas controlled by PIR's, will automatically be turned off 30 minutes after the last person has left the room - please note however that the PIR's can be over-ridden by the teacher and the lights turned off should there be a requirement; eg if the class is watching TV etc.
14. The two extractor fans supplied in each classroom to provide mechanical extract ventilation if required are operated via a wall switch in the classroom.

External Colour Scheme

- Walls - Honesty nearest BS ref 10C31
- All Columns - Honesty nearest BS ref 10C31
- All Trims - Honesty nearest BS ref 10C31
- External Skirt - Honesty nearest BS ref 10C31
- Roof - White nearest BS ref 00E55
- Windows - White nearest BS ref 00E55
- Vision Panels - White nearest BS ref 00E55
- Doors - Honesty nearest BS ref 10C31

Rev	Revision Description	Date	By
Project Name Double Classroom Block			
Client Name -			
Sheet Name Plan and Elevations - Double Classroom Block - 5 x UK093 Ultima Modules			
Date 2013	Scale 1 : 100 @ A3		
Drawing Number HD/9254/01	Rev.	Drawn by CS	

Agenda Item 8



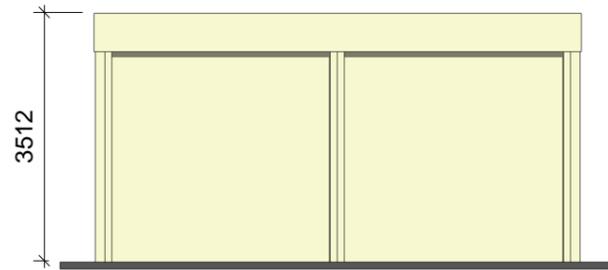
Quality - this time - next time - every time



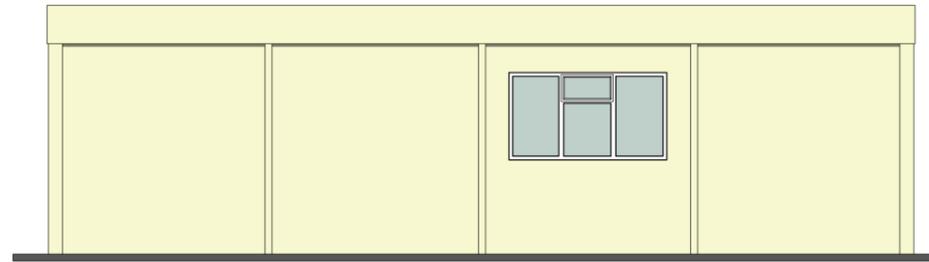
Standard floor loading is 3kN/m². Any loading imposed on a floor that is greater than 3kN/m² may require strengthening. Please contact your hire centre if you expect to exceed 3kN/m².

Please note that this and any accompanying drawing(s) are for illustrative purposes only and as such, the building shown may vary from the actual finished building on site.

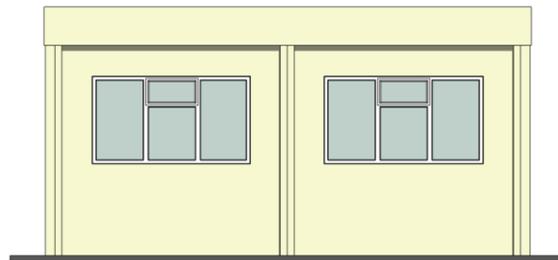
The position of windows, external doors and electrical fixtures (if shown) are dependent on stock availability at time of order.



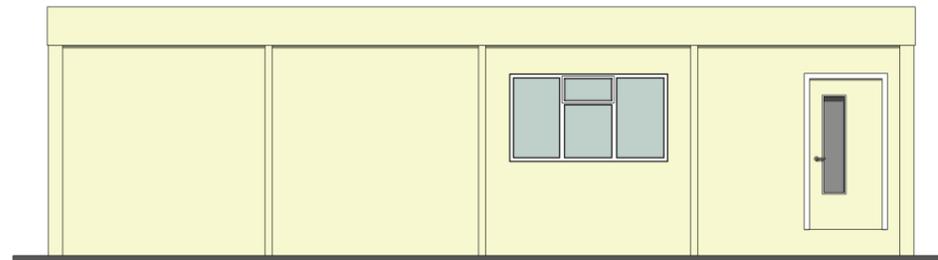
2 Side Elevation
1 : 100



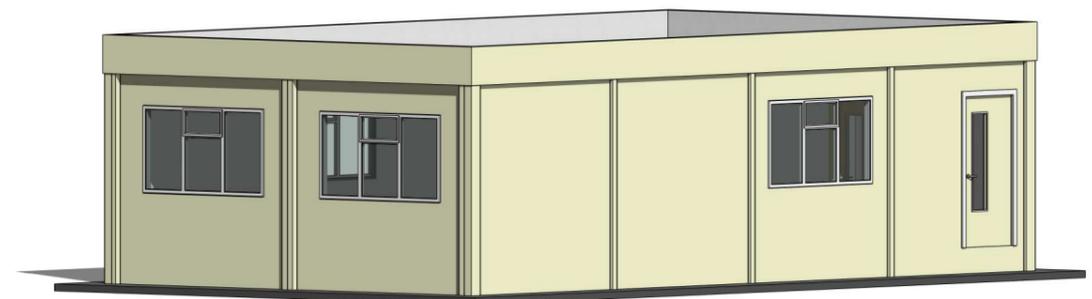
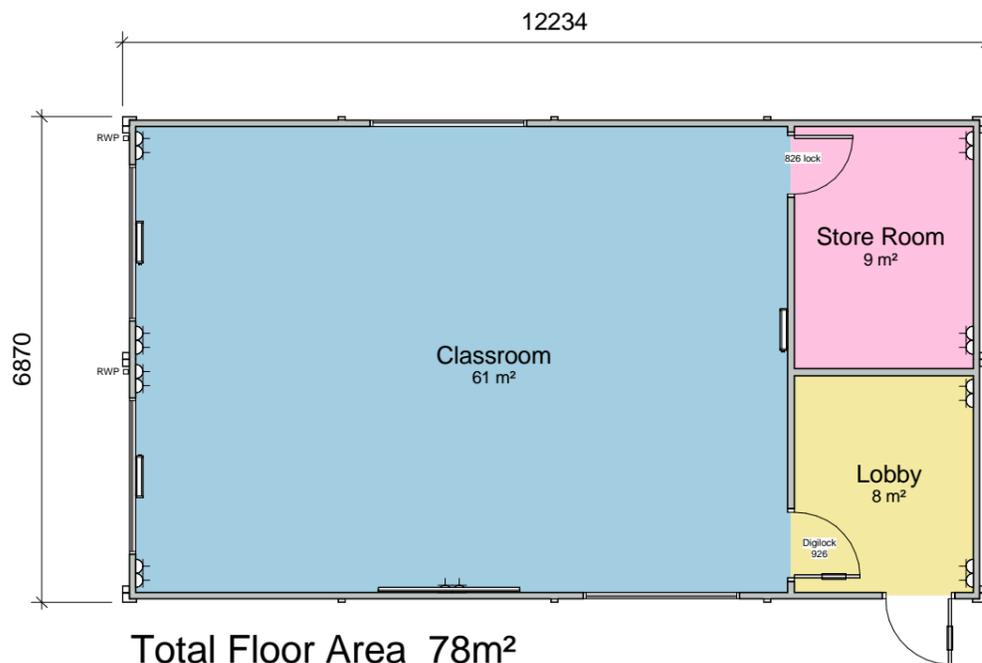
3 Rear Elevation
1 : 100



4 Side Elevation
1 : 100



5 Front Elevation
1 : 100



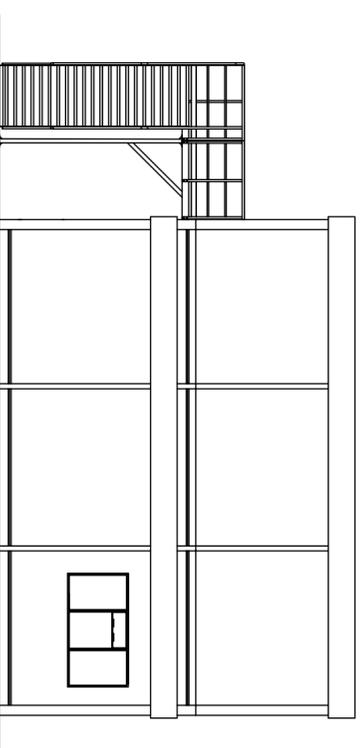
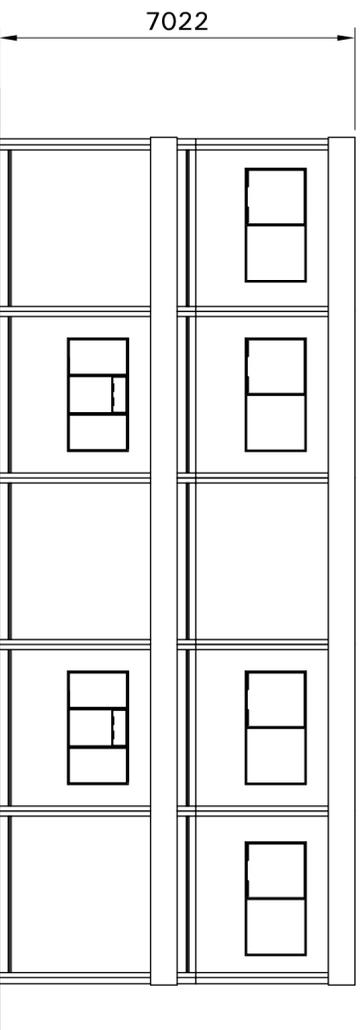
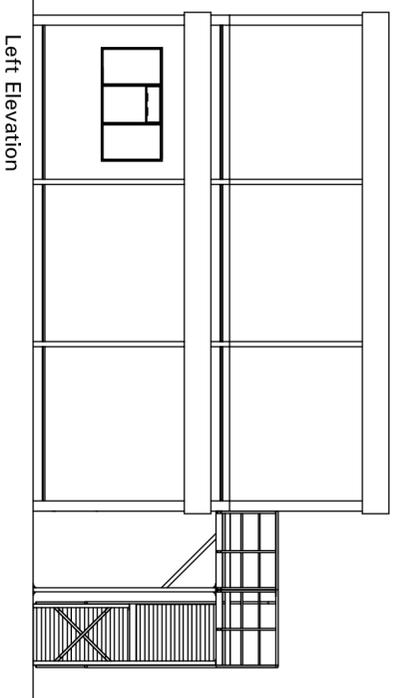
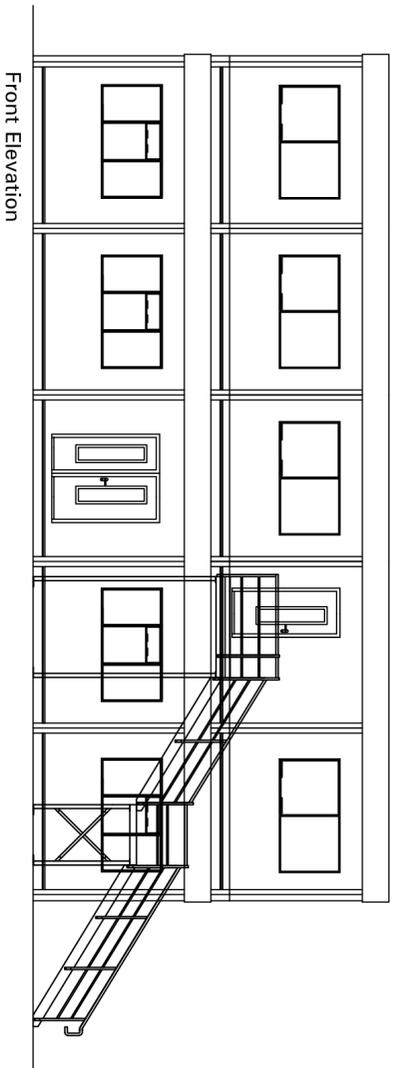
6 3D Illustration

NOTES

1. Lighting to classrooms LG3 compliant - Category 2 fittings
2. 5no double sockets in each classroom
3. Painted perimeter trunking
4. 30 hat and coat hooks in building
5. Partition to be half hour fire resistant trims to be pre-vinyl
6. Standard 2mm polyfloor vinyl flint grey
7. 2no 225 diameter extractor fans to classroom
8. External colour to be 'Honesty' plastisol
9. Vision Panels to doors DDA compliant
10. 2.6m internal ceiling height
11. PVC-U Windows - Type Y3
12. Flat fascia

Rev	Revision Description	Date	By
Project Name Single Classroom Block			
Client Name -			
Sheet Name Plan & Elevations - Single Classroom Block - 2 x UK123			
Date 2013	Scale 1 : 100 @ A3		
Drawing Number HD/9254/04	Rev.	Drawn by CS	

Please note, Ground Floor is existing already



EXTERNAL COLOUR SCHEME (NEW FIRST FLOOR)

Walls	– Goosewing Grey	nearest BS ref 10 A 05
Vertical wall trim	– Goosewing Grey	nearest BS ref 10 A 05
Bottom wall trims	– White	nearest BS ref 00 E 55
Long wall fascias	– Goosewing Grey	nearest BS ref 10 A 05
(covering wall)		
Long wall fascia	– White	nearest BS ref 00 E 55
(covering beam)		
Short wall composite fascia	– Goosewing Grey	nearest BS ref 18 B 25
Roof	– White	nearest BS ref 00 E 55
External skirt	– Goosewing Grey	nearest BS ref 10 A 05
Columns, external corners	– Grey	BS 4800 00 A 05
Columns, intermediate	– Grey	BS 4800 00 A 05
Windows	– Blue Grey	nearest BS 4800 18 B 29
Doors:		
Insulated door	– Slate grey	nearest BS ref 18 B 25

© Portakabin Limited 2002
 This drawing is the property of Portakabin Limited,
 it must not be copied or reproduced or divulged
 to anyone without written permission.
 Rev. Date By



Portakabin Limited, Huntington, York YO32 9PT
 Telephone 01904 611655 Fax 01904 611644

Project **First Floor Classrooms**

Client **Royal Alexandra and
 Albert School**

Title **Proposed Elevation
 Drawing
 5 x UK093 Modules
 On Existing
 Classroom Block**

Date **11.04.12** Drawn **MRB**

Scale **1:100 @ A2**

Drg. No. **HD/7585/04**

Rev.

This page is intentionally left blank

Agenda Item 9

Planning Committee
2nd September 2020

Agenda Item: 9
20/01287/HHOLD

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	02 September 2020
	REPORT OF:	HEAD OF PLANNING
	AUTHOR:	Kate Beith
	TELEPHONE:	01737 276171
	EMAIL:	Kate.Beith@reigate-banstead.gov.uk
AGENDA ITEM:	9	WARD: Horley West and Sidlow

APPLICATION NUMBER:	20/01287/HHOLD	VALID:	01 July 2020
APPLICANT:	Mr & Mrs Andrews	AGENT:	Building Design and Surveyors Consultancy
LOCATION:	60 SANGERS DRIVE, HORLEY		
DESCRIPTION:	Proposed single storey rear extension and garage conversion with new flat roof.		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is referred to Committee in accordance with the Constitution as the applicant is related to a member of staff.

SUMMARY

The proposed development seeks permission for the erection of a single storey rear extension and a single storey side infill extension linking the house to the existing detached garage. The garage is proposed to be converted to habitable accommodation with new roof over.

The proposal would be constructed out of matching materials, would be subservient to the dwelling and would not, therefore, result in material harm to the appearance of the existing property. The proposed side extension would not extend beyond the front of the house, whilst the rear extension would be modest in scale. Given that there is an existing rear addition, it is considered that there would be little change in the appearance of the dwelling and that the proposal would not harm the street scene or the character of the local area.

No material harm to the neighbouring properties would occur as a result of the proposed development and the proposal is therefore considered acceptable in this regard.

Agenda Item 9

Planning Committee
2nd September 2020

Agenda Item: 9
20/01287/HHOLD

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

Consultations:

Horley Town Council: No objections

Representations:

Letters were sent to neighbouring properties on 10 July 2020. No representations have been received.

1.0 Site and Character Appraisal

- 1.1 The application site is a semi-detached dwelling house built in approximately the mid twentieth century and set in a relatively modest plot that is fairly flat throughout. There are no trees likely to be affected by the proposal.
- 1.2 The surrounding area consists of residential properties of a similar age and varying styles; a number of properties have been extended, both to the side and the rear.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: None sought.
- 2.2 Further improvements could be secured: Materials to match existing.

3.0 Relevant Planning and Enforcement History

- | | | | |
|-----|---------|------------------------------|---------|
| 3.1 | 68/0051 | Single storey rear extension | Granted |
|-----|---------|------------------------------|---------|

4.0 Proposal and Design Approach

- 4.1 This is a full application for a single storey rear extension and garage conversion with new flat roof over and infill single storey side extension. The side extension would be set back and would not project forward of the existing building, whilst the rear extension would not project deeper than the existing rear addition.
- 4.2 The proposed extensions would be built out of matching materials and would be provided with a flat roof.

5.0 Policy Context

5.1 Designation

Urban Area

5.2 Reigate and Banstead Core Strategy

Agenda Item 9

Planning Committee
2nd September 2020

Agenda Item: 9
20/01287/HHOLD

CS1 (Presumption in favour of sustainable development)

5.2 Reigate & Banstead Development Management Plan 2019

DES1 (Design of new development)
TAP1 (Access, parking and servicing)

5.3 Other Material Considerations

National Planning Policy Framework

National Planning Policy Guidance

Supplementary Planning Guidance

Householder Extensions and
Alterations

Other

Human Rights Act 1998

6.0 **Assessment**

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development.

6.2 The main issues to consider are:

- Impact on local character
- Neighbour amenity
- Highway matters

Impact on local character

6.3 The proposal seeks consent for a single storey rear extension measuring 3m in depth, partially replacing and rebuilding the existing rear addition located adjacent to the joint boundary and to the same depth. The single storey side extension would infill between the house and the garage and would be the same depth as the garage, set back slightly back from the front of the dwelling. The proposed extensions would be constructed with matching materials to the main property and would be provided with flat roofs that would include two roof lanterns to the rear extension.

6.4 It should be noted that the Council's SPG advocates pitched roofs, as a preferred design option however the rear extension would not be visible in the street scene. The side extension involves partial reconstruction of the existing garage, which currently has a dummy pitch roof to front with a shallow pitched roof to the rear, would retain the short-pitched roof to the front but with a new flat roof behind. Given the existing roof design and where the proposal is set back from the front elevation of the property, this design would not be harmful. In making this assessment it is noted that within the wider area other examples of similar side extensions with similar roof designs exist.

- 6.5 Overall, the design and appearance of the proposal is considered acceptable. There are examples of similar developments in the street scene and the proposal would reflect the style of the main dwelling. The building, as enlarged, would conform to the general character and appearance of the wider area and complies with policy DES1.

Neighbour amenity

- 6.6 The proposed rear extension would be the same depth (3m) as the existing rear addition to the dwelling and of the same height (2.7m). The Supplementary Planning Guidance on Householder Extensions and Alterations identifies in paragraph 5.2.2 that single storey rear extensions along a boundary are likely to conflict with the assessments in Section 4 (i.e. Outlook; Domination and overshadowing) where it exceeds 3.3m for a semi-detached property. In this case the proposal would comply with the SPG. Furthermore, the adjoining property has a rear addition of similar proportions and the proposal would match the depth of the neighbours extension along the boundary. The proposal is therefore not considered to result in any material harm to the amenities of the adjoining neighbour to this eastern side (58 Sangers Drive), with regards to loss of light or outlook or being overbearing.
- 6.7 The existing garage is situated adjacent to the boundary with the neighbour to the western side (62 Sangers Drive), where there is a separation distance of approximately 1.6m from the boundary to the neighbour's flank wall. This relationship with this neighbour in terms of the built form would remain unchanged in that the side extension would infill between the application dwelling and the garage and to the same depth as the garage. Whilst there would be a change resulting from the use of the garage to habitable accommodation this would be within the normal domestic use of a dwelling and its amenity areas. Therefore, it is not considered that any material harm to the amenities of the adjacent neighbour would result.
- 6.8 The plans show a side facing window to the western flank of the proposed rear extension which would look across the applicant's garden and given the single storey nature of the development and existing boundary screening, there would be no material overlooking to the neighbouring property. It is therefore considered that the proposal complies with DES1 in this regard.

Highway matters

- 6.9 The proposal involves a conversion of the garage to habitable space and therefore the potential for the loss of a parking space within the garage. However, there is off road parking to the front of the dwelling. The existing garage (2.7m wide and 5.6m long) falls below the dimensions required under the Development Management Plan to count towards parking provision. The DMP states 'Garages and car ports counted towards parking provision must have minimum internal dimensions of 3.25 metres wide by 6 metres long'. Consequently, there is no objection to the loss of the garage and the proposal is not considered to warrant refusal in terms of parking provision.

Agenda Item 9

Planning Committee
2nd September 2020

Agenda Item: 9
20/01287/HHOLD

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Existing Plans	01		25.06.2020
Location Plan	11		25.06.2020
Proposed Plans	10		25.06.2020

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004

3. The materials to be used in the construction of the external surfaces of the extension (other than materials used in the construction of a conservatory) must be of similar appearance to those used in the in the construction of the exterior of the existing building.

Reason: To ensure that the development hereby permitted is only constructed using the appropriate external facing materials or suitable alternatives in the interest of the visual amenities of the area with regard to Reigate and Banstead Development Management Plan 2019 policy DES1.

INFORMATIVES

1. Building works involving work on an existing wall shared with another property; or new building on the boundary with a neighbouring property; or excavating near a neighbouring building, may fall within the scope of the Party Wall, etc. Act 1996 and may require that you serve a Statutory Notice

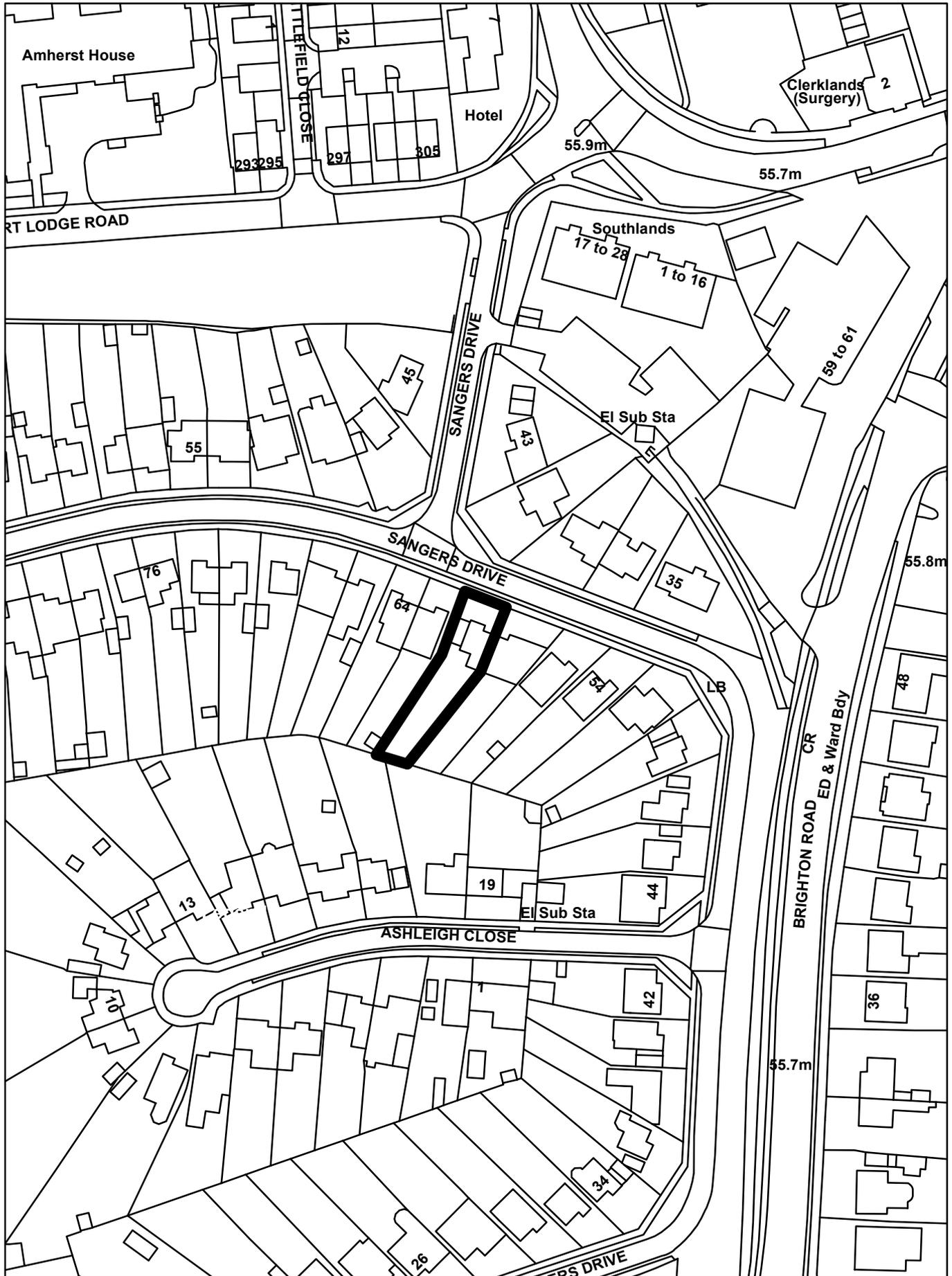
on all affected owners. Further guidance is available from
www.communities.gov.uk

REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies CS1, DES1, TAP1 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

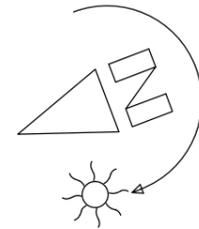
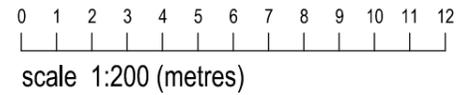
The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

Agenda Item 9
20/01287/HHOLD - 60 Sangers Drive, Horley

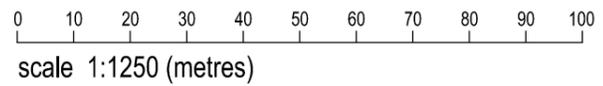




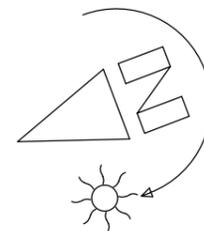
site plan @ 1:200



location plan @ 1:1250



© Crown Copyright. All rights reserved. Licence no. 100045916



Planning Application

REVISIONS

All dimensions and particulars are to be checked on site before work commences and any discrepancy to be reported to **BUILDING DESIGN & SURVEYING CONSULTANCY**. This drawing can be scaled for Planning purposes DO NOT SCALE this drawing for Setting Out use written dimensions only. Any work commenced before Council Approval is at Clients risk.

Building Design & Surveying Consultancy
 mail@build-design.co.uk www.build-design.co.uk

GATWICK OFFICE
 Melrose, Reigate Road, Hookwood, Horley, Surrey, RH6 0AP
 Telephone : 07511 899860

Project
Proposed Extension and Garage Conversion
60 Sangers Drive
Horley

Drawing
Proposed Site Plan and Location Plan

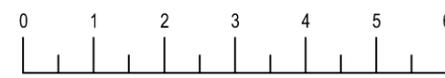
Job Number Drawing Number : Revision
20025 11:

Drawn PWS Computer Reference
 Date June 2020 as shown @ A3

Client
Mr Mrs Andrews

Agenda Item 9

proposed @ 1:100



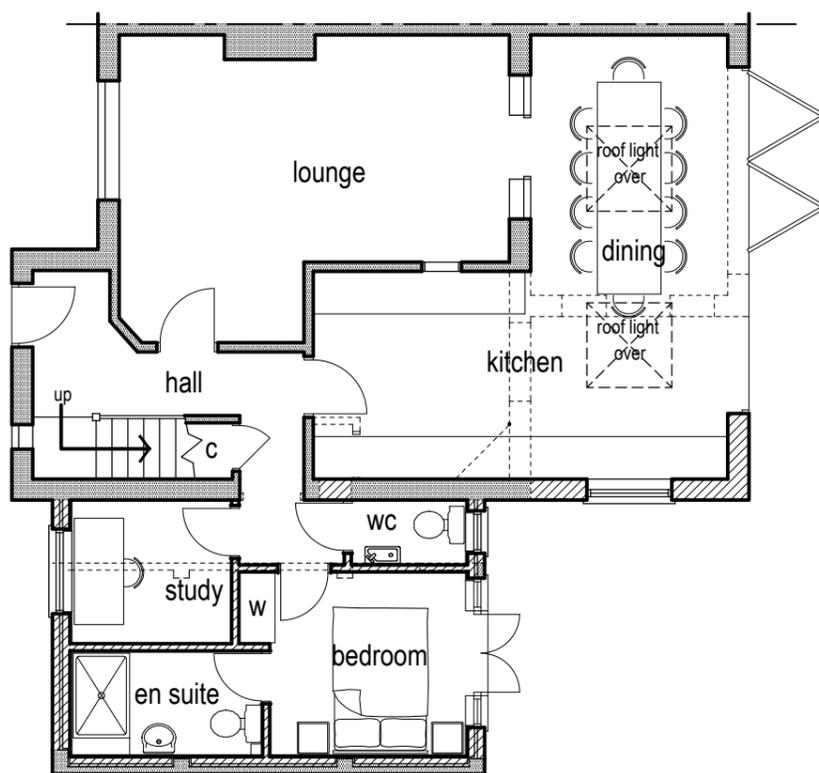
scale 1:100 (metres)



proposed front elevation



proposed side elevation



2700 2755

proposed ground floor plan



proposed rear elevation

Planning Application

REVISIONS

All dimensions and particulars are to be checked on site before work commences and any discrepancy to be reported to **BUILDING DESIGN & SURVEYING CONSULTANCY**. This drawing can be scaled for Planning purposes DO NOT SCALE this drawing for Setting Out use written dimensions only. Any work commenced before Council Approval is at Clients risk.

Building Design & Surveying Consultancy
 mail@build-design.co.uk www.build-design.co.uk

GATWICK OFFICE
 Melrose, Reigate Road, Hookwood, Horley, Surrey, RH6 0AP
 Telephone : 07511 899860

Project
Proposed Extension and Garage Conversion
60 Sangers Drive
Horley

Drawing
Proposed Ground Floor Plan and Elevations

Job Number	Drawing Number : Revision
20025	10:

Drawn PWS	Computer Reference
Date June 2020	Scale 1:100 @ A3

Client
Mr Mrs Andrews

external materials

- flat roof : fibreglass flat roofing system
- walls : facing bricks to match existing
- windows and doors : white upvc to match existing

132

1455
2015

6280
900
2570

Agenda Item 10

Planning Committee
2nd September 2020

Agenda Item: 10
20/01308/HHOLD

 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE	
	DATE:	02 September 2020	
	REPORT OF:	HEAD OF PLANNING	
	AUTHOR:	Kate Beith	
	TELEPHONE:	01737 276171	
	EMAIL:	Kate.Beith@reigate-banstead.gov.uk	
AGENDA ITEM:	10	WARD:	Reigate

APPLICATION NUMBER:	20/01308/HHOLD	VALID:	26 June 2020
APPLICANT:	Mr Chris Williams	AGENT:	
LOCATION:	29 FLANCHFORD ROAD REIGATE RH2 8AB		
DESCRIPTION:	Removal of front entrance gate, installation of part timber and part glazed front entrance door		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

This application is referred to Committee in accordance with the Constitution as the applicant is related to a member of staff.

SUMMARY

The proposed development seeks permission for the removal of the existing front entrance gate and the installation of a timber and part glazed reclaimed Victorian style entrance door to the recessed entrance to the front elevation of the dwelling.

The proposal is a minor alteration to the appearance of the dwelling and is traditional in form and materials, and appropriate to its location within the Conservation Area.

No material harm to neighbouring properties would occur as a result of the development, and no harm to the Metropolitan Green Belt setting would arise from the proposal, and the proposal is therefore considered acceptable.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

Agenda Item 10

Planning Committee
2nd September 2020

Agenda Item: 10
20/01308/HHOLD

Consultations:

Conservation Officer: No objections from a conservation viewpoint as the door is of traditional form appropriate to the Conservation Area.

Representations:

Letters were sent to neighbouring properties on 15 July 2020. No representations have been received.

1.0 Site and Character Appraisal

- 1.1 The application site is a two storey Victorian end-of-terrace dwelling house that is set in an elongated, narrow plot and set back from the highway. The site is fairly flat throughout. There are no trees that would be affected by the proposal.
- 1.2 The surrounding area consists of residential properties of a similar age and style set in a ribbon of mainly residential properties, located within a Conservation Area, within the Metropolitan Green Belt and an Area of Great Landscape Value with Common land opposite.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: No formal pre application advice sought.
- 2.2 Further improvements could be secured: N/A

3.0 Relevant Planning and Enforcement History

- 3.1 04/02345/CAN Fell 3 cypress Approved
01/10/2004

4.0 Proposal and Design Approach

- 4.1 This is a full application seeking approval for the removal of the former entrance gate and the installation of a front entrance door.
- 4.2 Circular 01/06 confirms that a design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
 - Assessment;
 - Involvement;
 - Evaluation; and

- Design

4.3 Evidence of the applicant's design approach is set out below:

Assessment	The front entrance gate to be removed was installed to the front of the property at some point within the last 20 years without the benefit of planning consent. The gate was not considered to be in keeping with the style or age of the property. The removal of the gate reveals a restored Victorian part glazed door with matching etched glazing to the fanlight above and would allow light to this recessed area.
	No community consultation took place.
Involvement	The statement does not include any evidence of other development options being considered.
Evaluation	Part timber part glazed, restored Victorian front door with matching fanlight over and which has been installed
Design	No comments

5.0 Policy Context

5.1 Designation

Conservation Area – Flanchford Road and Colley Lane
Metropolitan Green Belt
Area of Great Landscape Value

5.2 Reigate and Banstead Core Strategy

CS3 (Green Belt)
CS4 (Valued Townscapes and Historic Environment)

5.2 Reigate & Banstead Development Management Plan 2019

DES1 (Design of new development)
NHE5 (Green Belt)
NHE9 (Heritage assets)

5.3 Other Material Considerations

National Planning Policy Framework

National Planning Policy Guidance

Supplementary Planning Guidance

Householder Extensions and Alterations

Other

Human Rights Act 1998

Agenda Item 10

Planning Committee
2nd September 2020

Agenda Item: 10
20/01308/HHOLD

6.0 Assessment

6.1 The application site is situated within a rural metropolitan green belt area but where the dwelling is one of several dwellings in a ribbon of development and where the location is not far from the built up area of Reigate. The site also lies within a Conservation area where development should be appropriate to and preserve and enhance the character and appearance of the Conservation Area.

6.2 The main issues to consider are:

- Impact on local character and Conservation Area
- Neighbour amenity
- Impact on the Green Belt and the Area of Great Landscape Value

Impact on local character and Conservation Area

6.3 The proposal seeks consent for the replacement of a timber gate located at the recessed front entrance on the front elevation of the dwelling with a new front door further into the recessed entrance. The door has already been installed. The front door is part timber and part glazed and of Victorian style and is therefore considered appropriate to its setting in a Conservation Area. The design and materials would respect the character of the area and the Heritage Officer had no objections to the proposal as the door is considered to be of a traditional form appropriate to the area.

6.4 Overall, the design and appearance of the alterations is considered acceptable and the proposal would reflect the character of the dwelling and be appropriate to its setting within the Conservation Area. The proposal would conform to the general character and appearance of the wider area and complies with policies DES1 and NHE9.

Neighbour amenity

6.5 These are minor alterations to the appearance of the property which would not have any impact on the amenities of the neighbouring dwellings, which alter the appearance of the property but where there would be no additional built form resulting from the proposal. It is therefore considered that the proposal complies with DES1.

Green Belt issues and Area of Great Landscape Value (AGLV)

6.6 The proposal involves minor alterations to the existing dwelling where no additional footprint or volume would be created. Therefore, the proposal would not have any harmful impact on the openness of green belt or the AGLV and complies with the NPPF and DMP policy NHE5.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Existing Plan			26.06.2020
Location Plan			26.06.2020
Block Plan			26.06.2020

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

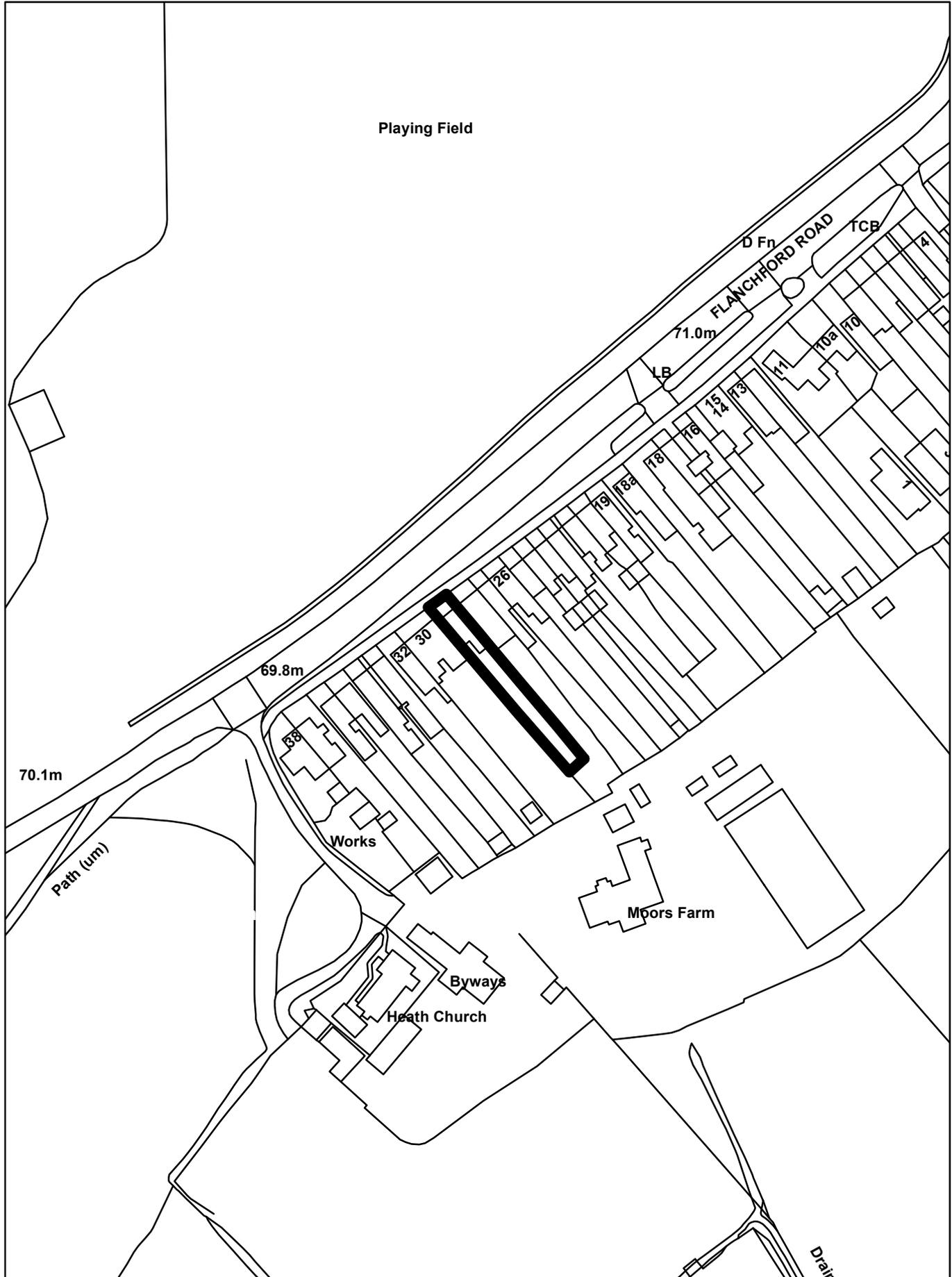
Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004

REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policy DES1, NHE5, NHE9 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

Agenda Item 10
20/01308/HHOLD - 29 Flanchford Road, Reigate Heath,
Reigate



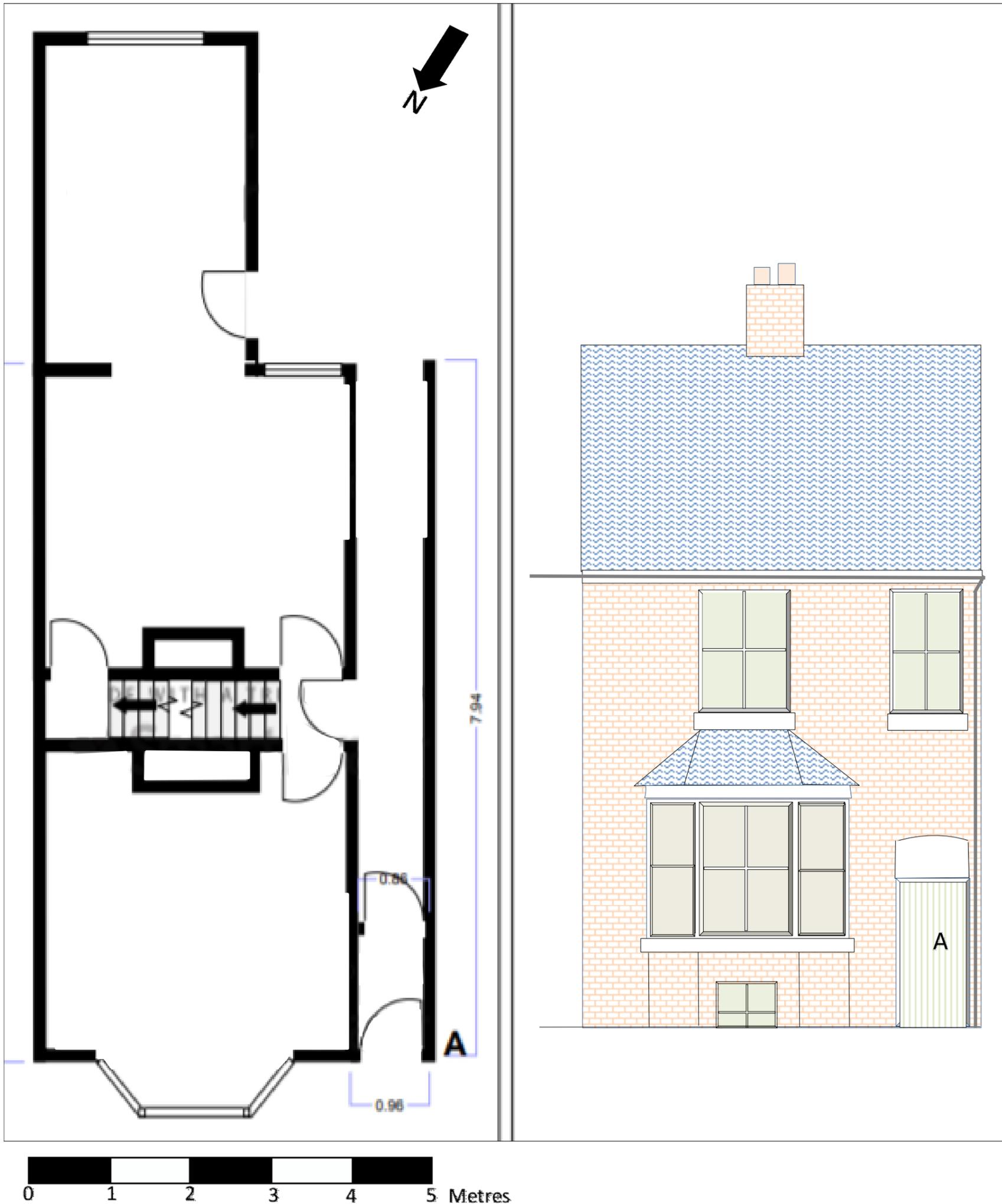
29 Flancford Road,
Reigate,
Surrey.
RH2 3AB.

Planning Permission Application.

Floor plan and Front (NW) Elevation.

Removal of Gate A at entrance to passageway (front Elevation).

Scale @A3 1:50



This page is intentionally left blank